



**City of Kingston  
Report to Heritage Properties Committee  
Report Number HP-26-009**

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**To:** Chair and Members of Heritage Properties Committee  
**From:** Jennifer Campbell, Commissioner, Community Services  
**Resource Staff:** Kevin Gibbs, Director, Heritage Services  
**Date of Meeting:** May 20, 2026  
**Subject:** Application for Ontario Heritage Act Approval  
**Address:** 166 West Street (P18-993)  
**File Number:** P18-013-2026

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**Council Strategic Plan Alignment:**

Theme: Corporate business

Goal: See above

**Executive Summary:**

The subject property at 166 West Street is located just north of the Frontenac County Courthouse, on the west side of West Street, south of Earl Street. The property is designated under Part V of the *Ontario Heritage Act* as part of the Old Sydenham Heritage Conservation District.

The property contains a single storey stone and brick carriage house (circa 1892) with a later single storey rear addition (circa 1907). An application under Section 42 of the *Ontario Heritage Act* (File Number P18-013-2026) has been submitted to seek approval to restore the front (older) section of the building and to remove and replace the rear (later) section of the building, to convert the existing structure into a single unit dwelling. The new rear section is to be two full stories with a small third storey bedroom near the rear. The new addition will include a gable roof, with several skylights and solar panels. Black iron style fencing is proposed around a small patio on the south side of the building. Detailed plans and a Heritage Impact Statement with a recent addendum were submitted with the application.

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This application was deemed complete on April 15, 2026. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on July 14, 2026.

Upon review of the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined in Exhibit A.

**Recommendation:**

**That** Heritage Properties Committee supports Council's approval of the following:

**That** the application at 166 West Street, be approved in accordance with the details described in the application (File Number P18-013-2026), which was deemed complete on April 15, 2026, with said application to include the restoration of the circa 1892 front section of the building, including new openings, roof and masonry and restoration of wooden features, and the removal and replacement of the rear circa 1907 section of the building with a two and a half storey brick addition, and the installation of metal fencing; and

**That** the approval of the application be subject to the conditions outlined in Exhibit A.

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**Authorizing Signatures:**

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**Jennifer Campbell,  
Commissioner, Community  
Services**

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**Lanie Hurdle, Chief  
Administrative Officer**

**Consultation with the following Members of the Corporate Management Team:**

Paige Agnew, Commissioner, Growth & Development Services	Not required
Neil Carbone, Commissioner, Corporate & Emergency Services	Not required
David Fell, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Jenna Morley, City Solicitor	Not required
Ian Semple, Commissioner, Transportation & Infrastructure Services	Not required

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**Options/Discussion:****Description of Application/Background**

The subject property at 166 West Street is located just north of the Frontenac County Courthouse, on the west side of West Street, south of Earl Street (Exhibit B – Context Maps). The property is designated under Part V of the *Ontario Heritage Act* as part of the Old Sydenham Heritage Conservation District.

The property contains a single storey stone and brick carriage house (circa 1892) with a later single storey rear addition (circa 1907). The property was created as a separate parcel in 2023 through Consent File Number D10-010-2023; it was formally part of a larger holding that included 170-174 Earl Street. An associated Zoning By-law Amendment application (File Number D14-001-2023) was also approved in 2023 to enable the adaptive reuse of the existing building for up to three dwelling units.

The applicant, and the property owners, attended a Round Table meeting on March 4, 2026, to review and gain feedback on their concept plans. The proponents made several amendments to their plans following the meeting.

An application under Section 42 of the *Ontario Heritage Act* (File Number P18-013-2026) has been submitted to seek approval to restore the front (older) section of the building and remove and replace the rear (later) section of the building, to convert the existing structure into a single unit dwelling. Restoration efforts include substantial masonry works to repair all the walls and foundations and to close in areas that are currently large garage door openings. A new roof structure with standing seam profile metal roofing and the recreation of the cupola is proposed. New metal-clad wooden windows and wooden doors are proposed throughout. The rear addition is to be two full stories with a small third storey bedroom near the rear. The new addition will include a gable roof, with several skylights and solar panels. The addition will include a stone foundation and brick walls, with matching metal roofing. Black iron style fencing, possibly on a stone base, is proposed around a small patio on the south side of the building.

Detailed renderings, floor and elevation plans, prepared by E.R. Trought Design Inc., and a heritage impact statement, with detailed chronology and a recent addendum, prepared by LHC Heritage Planning & Archaeology, were submitted in support of this application. Selected portions of these materials are attached as Exhibit C – Concept Plans and Exhibit D – Heritage Impact Statement Addendum. The submission materials in their entirety are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address.” If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

This application was deemed complete on April 15, 2026. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application under Section 42(4). This timeframe will expire on July 14, 2026.

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**Reasons for Designation/Cultural Heritage Value**

The subject property is included within the boundary of the Old Sydenham Heritage Conservation District (HCD) designated under Part V of the *Ontario Heritage Act* in 2015. The Property Inventory Evaluation includes a detailed description of the buildings at 170-172 and 174 Earl Street, which was formally part of the subject property. They are noted as “Significant” to the District. The circa 1892 former carriage house, with its circa 1907 rear addition, is not noted in the Property Inventory.

The Heritage Impact Statement (HIS), prepared as part of the 2023 Consent application, provides a detailed chronology and a more thorough analysis of the cultural heritage value of the former property, including the former carriage house/stable, and treats the carriage house as a “significant built heritage resource.”

**Cultural Heritage Analysis:****Applicable Local Policies/Guidelines**

While not specifically noted in the HCD Property Inventory, the building on the subject property is a contributing and important part of the streetscape along this portion of West Street. It is important to note that the subject property is not designated individually (Part IV) as a heritage resource, but only for its contribution to the heritage value of the HCD (Part V). Thus, when reviewing changes to the subject property one must consider the impact on the HCD in general and not necessarily to those impacts that only affect the property itself.

Staff visited the subject property on March 25, 2026. This application includes a proposal to alter and restore the older front portion of the existing building and to replace the rear, later portion, with a new complementary addition to convert the currently vacant structure into a single unit residential dwelling. The assessment of this application is summarized below through references to the relevant sections of the Old Sydenham Heritage Area HCD Plan (District Plan). Other applicable by-laws, policy and guidance, including Parks Canada’s ‘Standards and Guidelines for the Conservation of Historic Places in Canada’ (the Standards and Guidelines), are also considered when assessing impacts to the character of the HCD to ensure that the proposal does not negatively impact the historic place.

Section 2.2 of the District Plan provides a Statement of Cultural Heritage Value or Interest for the entire HCD. This includes a list of heritage attributes, which are those physical components of the HCD that express its cultural heritage value, these include: “Varied ages, styles and types of buildings, with both vernacular and architect-designed examples...; A compact scale comprised of street width, building height (approximately 2-3 storeys) and setbacks.” Additionally, Section 2.3 of the Plan provides a description of the sub-areas and their heritage attributes. This property is located in the ‘Beyond Bagot’ sub-area and its attributes are described in Section 2.3.3 and include: “a wide range of building types, materials and ages.” The subject property contributes to these attributes, making it a culturally important part of the HCD.

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Section 2.5 (Designation Goals and Objectives) of the District Plan speaks to the goals and objectives for the HCD as a whole, as well as Heritage Buildings, Landscapes and Streetscapes, and Land Use. This application supports the goals as presented in the District Plan, specifically “Supporting and encouraging the conservation and continuing use of the district’s heritage attributes, rather than demolition and replacement” (2.5.1); “Conserving heritage buildings or structures by using the accepted principles and standards for heritage conservation, as outlined in this Plan; and “Encouraging retention and restoration of original features of heritage buildings, based on archival and pictorial evidence...” (2.5.2); and “Preserving the existing pattern of blocks, streets and lanes” (2.5.3); and “Encouraging alterations and new infill that is compatible with the arrangement, scale, architectural style and materials that constitute the district’s heritage character” (2.5.4).

### **Summary of Project Proposal and Impact Analysis**

Restoration/Alteration Works:

Section 4 of the Old Sydenham Heritage Area HCD Plan establishes a policy framework related to Building Conservation, including direction on Roofs (4.3.1), Exterior Walls (4.3.2), Windows and Doors (4.3.5), and Foundations (4.3.6). While Section 5 of the HCD Plan provides policies and guidelines related to Building Alterations and Additions.

The proponents are proposing several conservation initiatives for the front (circa 1892) portion of the building, including a complete assessment and repair to all masonry, including the stone foundation. This will include structural repairs and waterproofing as needed, repointing joints and replacing any overly deteriorated masonry units. In accordance with Section 4 of the District Plan, conditions of approval have been included to ensure consistency with the City’s Masonry Policy, including sourcing replacement masonry units that match the existing in size and colouring. A condition of approval has also been included that requires the salvaging, storage and reuse of any reusable bricks from the rear section of the building, to be used in the restoration of the front section of the building.

Most of the existing windows and doors are boarded over. All are in an advanced state of deterioration. There appears; however, to be one extant window visible on the southern side of the front section of the building. It is a wooden 2-over-2 sash window and may be original to the building. While the existing window cannot be restored, it can provide an indication of an era-appropriate window for this building.

Section 4.3.5 directs that all window and door works be undertaken in accordance with the City’s Policy on Window Renovations in Heritage Buildings. Section 5.3.2 provides further guidance on window alterations and directs that replacement windows can be wood or metal-clad wood and should be designed to match the style and size of the original windows with muntins applied to the exterior of the glass. Standard 14 of the Standards and Guidelines also directs that missing heritage features be replaced with “new feature whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.”

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The proposed windows are metal-clad wooden units, in various styles including casement, fixed, horizontal sliders and awning units. As the rear portion of the building is new construction, greater flexibility is permitted for windows therein; however, for those windows in existing openings, such as those on the southern and northern elevations of the front section of the building, the District Plan is specific that replacing existing hung sash windows with casement or other window styles is to be avoided. A condition of approval has been included to require the proponents to amend their plans to include 2-over-2 sash windows in the existing window openings on the southern and northern elevations of the front building section. Details related to the window profiles and colours will be reviewed by staff as a condition of approval.

Similar to windows, doors should be designed to complement the era of the building. The traditional main stable door opening on the east elevation (facing West Street) is to be restored using the existing arched voussoirs as a guide. A solid wood painted double door is proposed. Details on the door design and colour will be provided to staff for review as a condition of approval.

On the southern elevation of the front section, two in-swing casement doors are proposed within the existing openings. Comments from one member of the Committee questioned the appropriateness of two doors near each other along this elevation, noting that one door and two windows would be more appropriate. While staff agree with this statement, there are no historic photographs/plans available to substantiate this claim, nor are there any specific heritage policies to require it. A discretionary condition has been included to request the proponents to consider installing only one door and two sash windows along this elevation.

Section 4.3.3 of the District Plan provides direction on restoring decorative details such as the vergeboard and ventilator/cupola. The Concept Plans (Exhibit C) indicate the replication and reinstallation of the octagonal cupola on the roof ridge, as the current cupola appears to be in an advanced stage of deterioration. While the Concept Plans do not indicate the vergeboard on the gable end of the building, the Heritage Impact Statement (HIS) Addendum (Exhibit D) indicates that the “decorative vergeboard on the east elevation of the building will be conserved and missing parts created based on the existing materials.” Parks Canada’s Standards and Guidelines directs one to use documentary or physical evidence to guide the design of replacement features such as decorative wooden elements. A condition of approval has been included to ensure that the recreated cupola and vergeboard be designed to accurately reflect the existing features.

The HIS Addendum also notes that the “exposed rafters in the soffits should remain visible and not be covered with a new soffit.” As the rafter ends are an important original design element on this building, their restoration and continued visibility are important to the conservation of this building in accordance with Section 4.3.3. A condition of approval has been included to ensure the rafter ends are restored and left visible.

Section 4.3.1 of the District Plan provides direction on roofing repairs and alterations. It suggests that where original roofing materials remain in place that repairing the existing roofing, where possible, is preferable. If not possible, replacing the roofing with a modern material that

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matches, as closely as possible, with the original. The asphalt roofing on the building is beyond repair. New standing seam profile copper roofing is proposed (Exhibit C - Concept Plans). While copper roofing is an acceptable substitute for original metal roofing, as noted by one responding Committee member, copper roofing historically is reserved for prominent dwellings and not outbuildings. A condition of approval has been included to request the owners to consider amending their plans to use a standing seam metal roofing alternative to the copper roofing proposed.

Demolition and New Addition:

Section 5.0 of the District Plan provides policies and guidelines related to Building Alterations and Additions in general, and more specifically related to managing changes to features such as the design of additions to heritage buildings. The District Plan directs one to consider five questions when designing and evaluating a proposed alteration:

1. In what way will the proposed alterations affect the overall character of the streetscape of the District?
2. Could the alterations find ways to enhance the heritage character of the District?
3. What will the impacts to the property's heritage attributes be?
4. Can these impacts be minimized through design?
5. If this alteration were commonly applied throughout the District would the cumulative impact be acceptable?

In addition to the restoration works noted above, the most extensive change to this property (and to the HCD) is the proposed demolition and construction of a new addition to the rear of the building.

While the District Plan does not include any specific policies related to demolition in the HCD, it is commonly accepted that demolition of significant heritage resources should be discouraged. The Property Inventory Evaluation includes detailed descriptions for the dwellings at 170-172 and 174 Earl Street (formally part of the subject property); however, no mention of the detached carriage house/stable is included. While the subject property itself does not have any formal heritage attributes (being that it is not designated under Part IV), the proponent's HIS includes a detailed chronology and description of the cultural heritage value of the area. It provides an estimated construction date for the stable, noting the front section was likely built around 1892 with the rear section added in around 1907. Staff concur with the HIS in that, particularly the front section, with brick and stone construction, decorative verge board and central cupola, contribute to the historic character of West Street and the HCD. The rear section has been altered substantially over time and is in an advanced stage of deterioration. It also includes no notable architecture features. Staff have no objection to the demolition of the rear section of the building.

Both Sections 5.2.1 and 5.3.1 of the HCD Plan, and the proponent's HIS, recommend that alteration to and demolition on the property be photographically documented for archival purposes. This has been included as a condition of approval.

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Section 5.2.2 provides direction regarding additions to heritage buildings, including policies related to location, scale, height and impacts to adjacent resources. Each of these policies utilized the term “should” in their direction. From a policy interpretation and implementation perspective the term “should” is important to note. As opposed to terms like “shall” or “must”, the term “should” is one that strongly encourages consideration of these policies but allows for some flexibility based on site-specific circumstances, provided the overall goals and objectives of the District Plan are met. The use of the term “should” in this statement is important when considering the impact of this change against the five questions noted above. Will the new addition have an unacceptable negative impact to the “overall character of the streetscape” of the HCD? To best answer this question, and as directed by Guideline 4.3.1 the Standards and Guidelines, one must first understand what contributions the building adds to the heritage value of the historic place (the HCD).

The Old Sydenham HCD includes a wide variety of buildings, some with significant architectural and cultural importance. A large rear addition to some of the more prominent landmark buildings may have an inappropriate negative impact to their heritage value and the design intent of the original building and therefore would be discouraged. The subject building; however, is a simple vernacular outbuilding that contributes to the heritage character of the streetscape but is not noted as a significant resource on its own.

Standard 11 of the Standards and Guidelines directs that new construction should be “physically and visually compatible with, subordinate to and distinguishable from the historic place.” This direction is echoed and expanded on through Section 5.2 of the District Plan. The District Plan states that additions should be located away from the street and be no taller (preferably lower) than, and to the rear of, the historic dwelling. The new rear addition, and adaptive reuse of the property for residential purposes, will provide a viable use and facilitate the investment into the restoration of the prominent front section of the building thereby improving its contribution to the character of the streetscape and attributes of the HCD. While the new addition is taller and larger than the front (older) section of the building, the circa 1892 front section will be restored and will continue to hold a prominent presence along West Street, thereby minimizing the visual presence and impact of the new rear addition.

Standard 12 of the Standards and Guidelines, and Section 5.2.2 of the District Plan, speaks to designing new additions to ensure that the “essential form and integrity” of the heritage resource is not impaired, should the new addition be removed in the future. While this is a substantial addition and change to the property, the features of the property that contribute to the streetscape (and HCD), namely the brick and stone construction, gable roof and cupola of the original portion of the stable, are being preserved. Should the rear addition be removed in the future, the original 1892 building will continue to be understood and conserved.

Sections 5.3 and 5.4 of the District Plan provide more specific guidance on altering or constructing additions to heritage buildings. The plan states that new additions are not required to “replicate an existing heritage style” and the new cladding should be distinct from the cladding on the heritage building and the use of reveals, transitions or offsets are encouraged to enable one to clearly identify the new addition against the original building form. Acceptable cladding on

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new additions includes a variety of materials such as wood siding, brick or stone masonry (5.3.3).

The applicants have designed the new addition to include an obvious offset between the old and new sections of the building, thereby clearly retaining evidence of the original building profile (Exhibit C). While the applicants wish to use brick and stone cladding that is similar to the original building, the scale and fenestration pattern (including skylights) will clearly distinguish the rear addition as a new intervention. Conditions of approval requiring the provision of details to staff on the new cladding, and the use of as much salvaged masonry material as possible in the restoration of the front section of the building, have been included to ensure the intent of these policies are met.

Section 5.3.3 of the District Plan notes that “vinyl/aluminum siding or asphalt shingles are not acceptable claddings for new additions” on heritage buildings. The applicants are proposing a form of vertical metal siding for the small third storey portion of the addition. The intent of this policy is with respect to a commonly used vinyl/aluminum horizontal siding or asphalt siding (also called ‘Insullbrick/inselbric’) that was popular in the mid to late 20<sup>th</sup> century, and some versions are still used today on modern construction. The proposed vertical metal siding is designed to emulate the proposed metal roofing material; thereby, helping to minimize the visual impact of the third storey when viewed from the pedestrian realm.

Besides what is noted above, the District Plan does not include any specific design policies or guidance related to new additions. As a new addition to the HCD, the governing “best practice” is Standard 11 of the Standards and Guidelines, as noted above. The terms “compatible” and “subordinate” are somewhat subjective but are meant to suggest that new works should not compete with the historic place nor stand out as being out of place in its context. The rear location of the new addition, in place of a current rear addition, is compliant with the District Plan policy (5.4.1), and both aids in highlighting the oldest and most significant portion of the building from the road, while also placing the larger addition in a secondary/subservient location on the property.

The design of the rear addition is meant to emulate the existing outbuilding with its gable roof and masonry cladding; however, modern features such as skylights, solar panels, open balcony and expanse of windows, clearly distinguish it as a new residential building. Two of the responding Committee members noted concerns regarding the Gothic arch shape of the balcony openings. The responding members suggest that a simpler or perhaps a flat-headed design would better suit the building. The HIS Addendum (Exhibit D) notes that the existing building includes both segmental and triangular arches, and that the proposed design is inspired by these existing designs and others found in the HCD and has a “visual harmony with the surrounding character”. However, the HIS also recommends that the owners consider matching the arch design on the new addition with similar features found on the older/retained portion of the building. Staff have included a discretionary condition of approval in this regard.

The District Plan encourages the use of environmentally sustainable materials and technologies, such as solar panels. Section 4.3.8 of the District Plan notes that skylights and solar panels

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should not be visible from the street and that “flush-mounted” skylights are preferable. Similarly, Guideline 4.3.3 of the Standards and Guidelines notes that skylights and solar panels should be located in an inconspicuous manner that does not damage or obscure heritage elements. The majority of the new units (skylights and solar panels) are proposed on the southern pitch roof of the new addition. They will be visible from West Street but are located to the rear of, and will have no physical impacts to, the retained circa 1892 portion of the building. Only two skylights are proposed on the roof of the front (original) section of the building. These are to be located on the northern pitch of the roof to the far rear of the original building and will not impact the overall profile of the building. The proposed solar panels and skylights, together with the fenestration pattern and scale and design of the new rear addition, will clearly distinguish it as a recent intervention to the property and addition to the HCD. Localizing the panels and skylights on the new build will minimize the visual impact and reduce physical changes to the retained and restored 1892 portion of the building.

The proposal also includes the installation of a decorative iron fence (with or without a limestone base) along the southeast corner of the property. Section 7.5 of the District Plan notes that iron and stone fencing on private property is permitted, subject to the City’s Fence By-Law.

**Results of Impact Analysis**

While the scope of the application will result in substantial changes to this property, consideration of the contribution of this property to the heritage value of the Old Sydenham Heritage Conservation District, and how these changes will impact that contribution, has been completed. The analysis concludes that the historic profile, masonry cladding and wooden details of the circa 1892 front section of the building contributes to the heritage character of the streetscape. The property’s contribution to the HCD will be conserved and not negatively impacted by the removal of the rear addition, proposed restoration works and the construction of a new rear addition. The new addition, while larger, is designed to be sympathetic and compatible with the HCD. Once completed, this project will give this building additional utility as a residential property, facilitating its adaptive reuse without negatively impacting the heritage value of the HCD.

Heritage Planning staff are of the opinion that the proposal conforms to the intent, goals and policies of the District Plan and will uphold the heritage conservation objectives set out within the City of Kingston’s Official Plan, the Ontario Heritage Tool Kit, and Parks Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada.

**Previous Approvals**

None

**Comments from Department and Agencies**

The following internal departments have commented on this application and provided the following comments:

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**Engineering** - Please confirm the use of the garage. A right of way/easement would be required over the adjacent property if it is used to park a vehicle as there is not sufficient space on the subject property to enter the garage.

With the removal of the garages facing West St, the municipal boulevard will be required to be replaced with Topsoil and Sod. The entirety of the mountable curb along frontage of this property will be required to be removed and reinstated with barrier curb as it will not be utilized for an entrance, minus the right of way section for the neighbouring property.

Approval from corridor control will be required if a walkway is proposed within the municipal property.

During the work, the applicant will have to ensure that materials and equipment are not stored on municipal property and that municipal property is not obstructed unless the proper permit from Transportation Services is obtained. Information on the appropriate permit can be obtained by contacting Transportation Services.

Approval from adjacent property owners is required, if work is required to be completed from the adjacent properties.

The concept plan does not follow the approved plans associated with the development agreement on the property. Additional planning requirements may be required due to the proposed changes.

**Forestry** - A Tree Permit will be required to address tree preservation of two city owned trees within the road allowances on either side of the existing site. Tree protection fencing placement is required to deter the staging and placement of materials, equipment and/or vehicles within the boulevard areas where these trees exist. An Arborist Report with Tree Preservation Plan shall be prepared by a qualified forestry professional ((ISA Certified Arborist, MTCU (now MCURES) Ontario Arborist Apprenticeship Program (Trade Code 444A) Qualified Arborist, or Registered Professional Forester) and submitted as supporting documentation with the tree permit application in DASH. Tree permit shall be secured by the applicant in advance of building permit issuances so that tree preservation measures are established in advance of site alteration/construction activities. Securities will be a condition of tree permit issuance to ensure compliance with all tree preservation measures and recommendations.

**Kingston Hydro** - No concerns at this time.

**Licensing and Enforcement** - We have no open cases associated with this address and have no objections to this application.

**Parking** - Parking is supportive of that part of the applicant's design that results in the removal of the driveway entrance that is currently located in front of the garage doors at the east end of the building fronting West Street. This will eliminate the current practice of vehicles parking on the City boulevard.

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**Planning** - The subject property at 166 West Street is in an Heritage Zone 3 – Old Sydenham (HCD3) with a site-specific Exception Overlay (E135). This site-specific zoning was established for the site to enable the severance of the property and the adaptive re-use of the existing stable building on the property with a use permitted in the HCD3 zone. A house is a permitted use on the property and would permit the single dwelling unit proposed as part of this permit application.

Based on a review of the conceptual plans provided, Planning staff wish to highlight specific zoning by-law requirements for the applicant as designs are refined and prepared for a required building permit submission.

The site-specific zoning has a minimum setback requirement of 0.6 metres for a balcony or deck above 1.2 metres in height from a property line. It's unclear from the plans whether this is met by the proposal and would be measured from the property line to the associated guard/railing. The applicant is encouraged to reach out to Planning staff on a path forward if there are challenges with meeting this requirement.

The original proposal included a 2-storey design, with a height indicated on the plans well below the maximum 10.7 metres to the mid-point of a peaked roof. The revised proposal indicates a 2.5 storey maximum height. As part of the building permit submission, the applicant should confirm that the proposed height complies with the maximum in the applicable zoning, which is the lesser of 10.7 metres or 3 storeys. The height in metres is measured as the vertical distance from finished grade to the average level between the eaves and highest point of the building (in the case of a sloped roof).

The applicant should also confirm as part of their future building permit submission that the minimum required 25% landscaped open space can be met by the proposal. Landscaped open space includes hardscaping, such as patios and walkways, but would not include driveways or areas intended for parking. See the definition in section 3.12.3 of the Kingston Zoning By-Law.

**Storm Water** - The design submitted for the Heritage Permit does not include the stormwater tanks required for the storm controls approved during the previous applications. If these tanks are removed there will be no stormwater quantity controls for the site and as a result will increase storm flows to neighboring properties. These tanks should be included in the design, but if they aren't then the proponents will need another solution for stormwater management.

**Utilities Kingston** - Utilities Kingston has no concerns with the Heritage Permit. Servicing should be as per the approved servicing plans from the consent application, or if different, reviewed by UK prior to servicing.

### **Consultation with Heritage Properties Committee**

The Heritage Properties Committee was consulted on this application through the [DASH](#) system. Written comments from three members were received at the time of writing this report (Exhibit E). Comments from the responding members have been provided to the applicant and addressed in staff's analyses above. Consideration of the Committee comments related to the

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window style in the front section and the arch design in the new addition has been included as conditions of approval.

### **Conclusion**

Staff recommends approval of application File Number P18-013-2026, subject to the conditions outlined in Exhibits A.

### **Existing Policy/By-Law**

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Citizenship and Multiculturalism)

City of Kingston Official Plan

Old Sydenham Heritage Area Heritage Conservation District Plan

### **Notice Provisions**

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

### **Accessibility Considerations**

None

### **Financial Considerations:**

None

### **Contacts:**

Kevin Gibbs, Director, Heritage Services, 613-546-4291 extension 1354

Joel Konrad, Manager, Heritage Planning, Heritage Services, 613-546-4291 extension 3256

Ryan Leary, Senior Planner, Heritage Services, 613-546-4291 extension 3233

### **Other City of Kingston Staff Consulted**

None

### **Exhibits Attached**

Exhibit A      Conditions of Approval

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- Exhibit B      Context Maps
- Exhibit C      Conceptual Plans
- Exhibit D      Heritage Impact Statement Addendum
- Exhibit E      Correspondence Received from Committee
- Exhibit F      Final Committee Comments

## Conditions of Approval

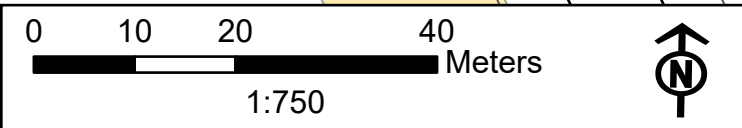
That the approval of the application be subject to the following conditions:

1. The applicant shall amend their plans to reflect the use of 2 over 2 sash windows in the southern and northern elevations of the front (c.1892) section of the building, in place of the proposed casement windows;
2. Restoration and/or recreation of the vergeboard and cupola/ventilator shall be based on existing physical details in order to accurately replicate the design, size and location of these features;
3. The exposed rafter ends on the front (c.1892) section of the building shall be restored and remain visible on the building;
4. The owners shall consider amending the arch designs in the rear section to be a simpler square or rounded arch, instead of the proposed Gothic/Tudor style;
5. The owners shall consider using a dark brown metal roofing, in standing seem profile, in place of the proposed copper roofing;
6. The owners shall consider amending their plans to reflect two sash windows and one door on the southern side of the front (c.1892) portion, instead of two doors and one window as proposed;
7. Details related to the colour(s) and specifics of all exterior cladding, windows, roofing, and trim shall be submitted to Heritage Planning staff for review and approval prior to installation, to ensure it complements the District;
8. The applicant shall provide photographic documentation of the interior of the structure to Heritage Planning staff, prior to and during demolition, for archival purposes;
9. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings;
10. All reusable bricks and stones from the rear (c.1907) section shall be salvaged, stored on site, and reused in the front (c.1892) section, wherever possible;
11. Any replacement stones or bricks for the front (c.1892) section shall be sourced, cut and dressed to match the original, as closely as possible;
12. All window works shall be completed in accordance with the City's Window Policy and Guidelines;
13. The applicant shall ensure that the municipal boulevard is restored with topsoil and sod and the mountable curb is replaced with a barrier curb, to the satisfaction of the applicable City department;
14. If any works are proposed or temporary access needed over the adjacent private properties, prior approval shall be obtained from the respective owner(s);
15. A Building Permit shall be obtained, as necessary;
16. A Tree Permit shall be obtained, including all necessary arborist reports and tree preservation plans, as required;
17. All Planning Act approvals shall be obtained, as necessary;
18. An Encroachment Permit/ Temporary Access Permit shall be obtained, as necessary; and
19. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the District, shall be delegated to the Director of Heritage Services for review and approval.



City of Kingston  
Key Map  
Address: 166 West St.  
File Number: P18-013-2026




Subject Lands

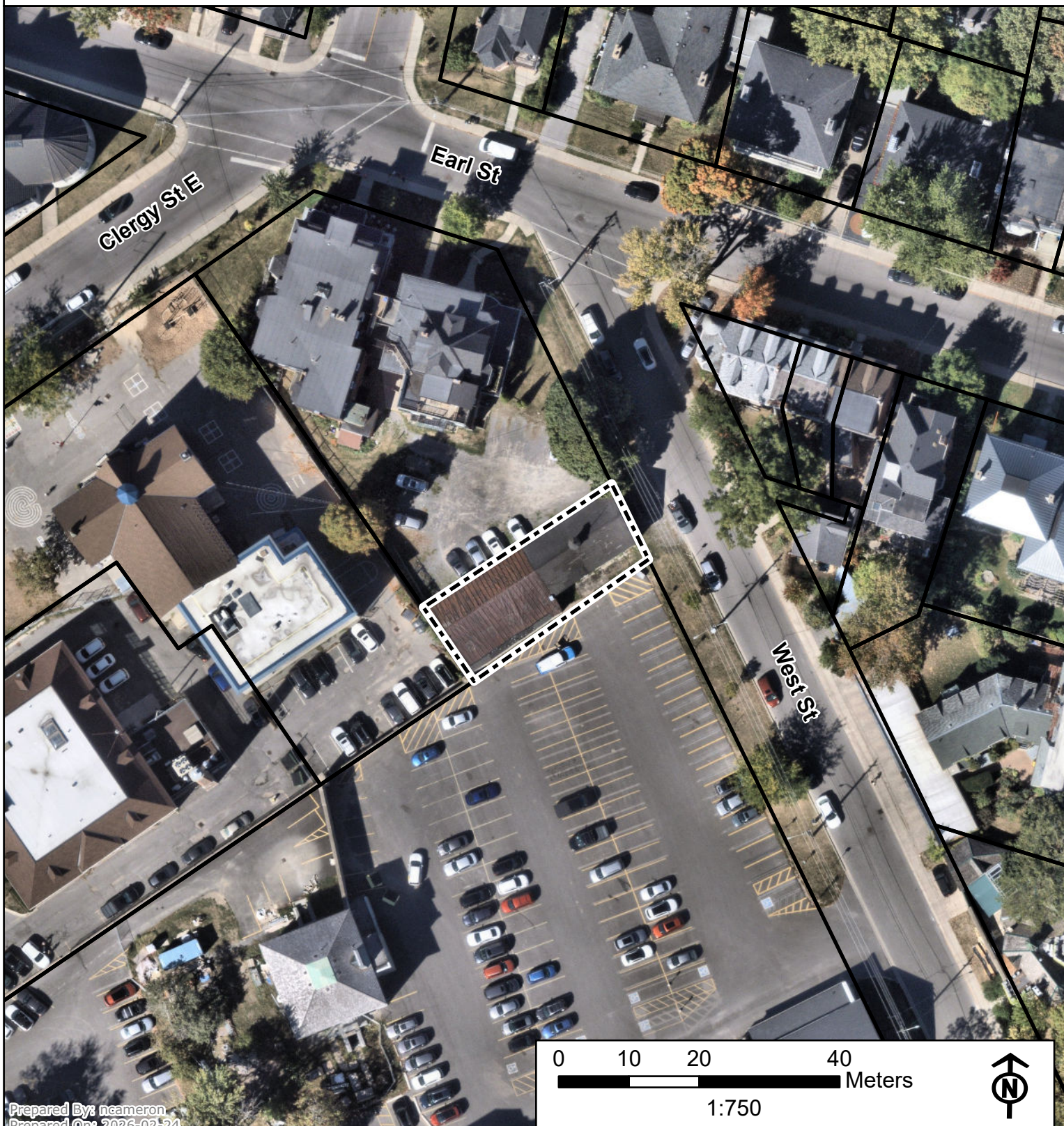




City of Kingston  
Neighbourhood Context

Address: 166 West St.  
File Number: P18-013-2026

-  Property Boundaries
-  Proposed Parcels
-  Subject Lands





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No.	DATE	DESCRIPTION	BY
REVISIONS			

BTSS  
MAIN FLOOR = 3055sq'  
SECOND FLOOR = 1904sq'  
THIRD FLOOR = 230sq'

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A REVISED DRAWING AND CLEARANCE BY THE  
BUILDING DEPARTMENT.

PROJECT:  
**PROPOSED RESIDENCE**

LOCATION:  
**166 WEST ST., KINGSTON, ON**

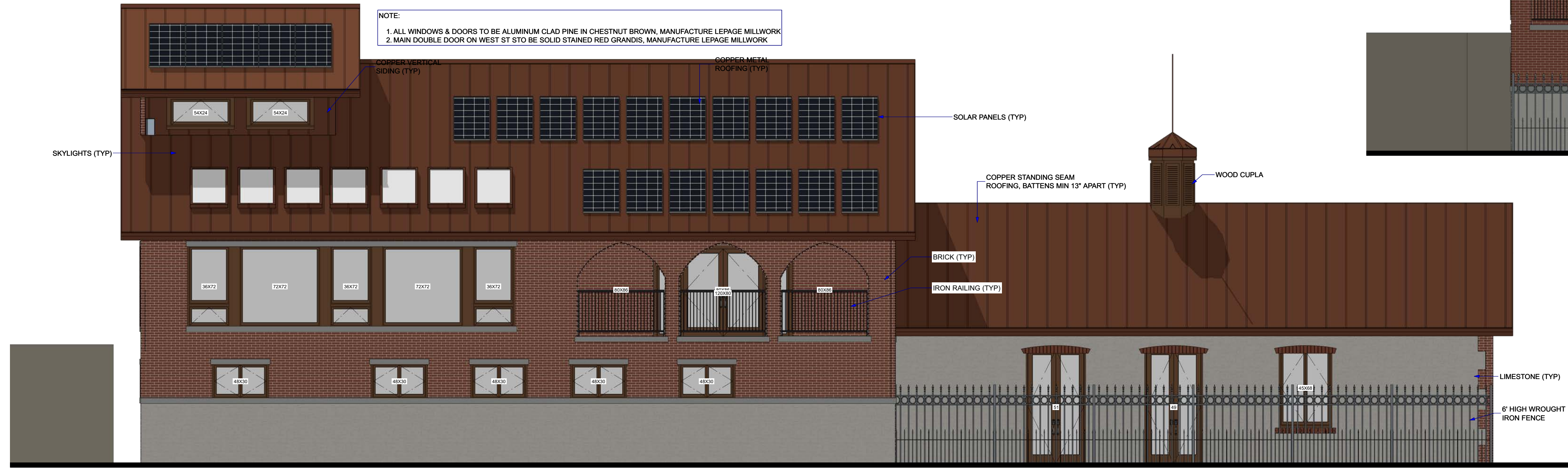
FOR:  
**ROB & LESLIE BAKER**

DRAWING:  
**RENDERING FROM WEST ST**

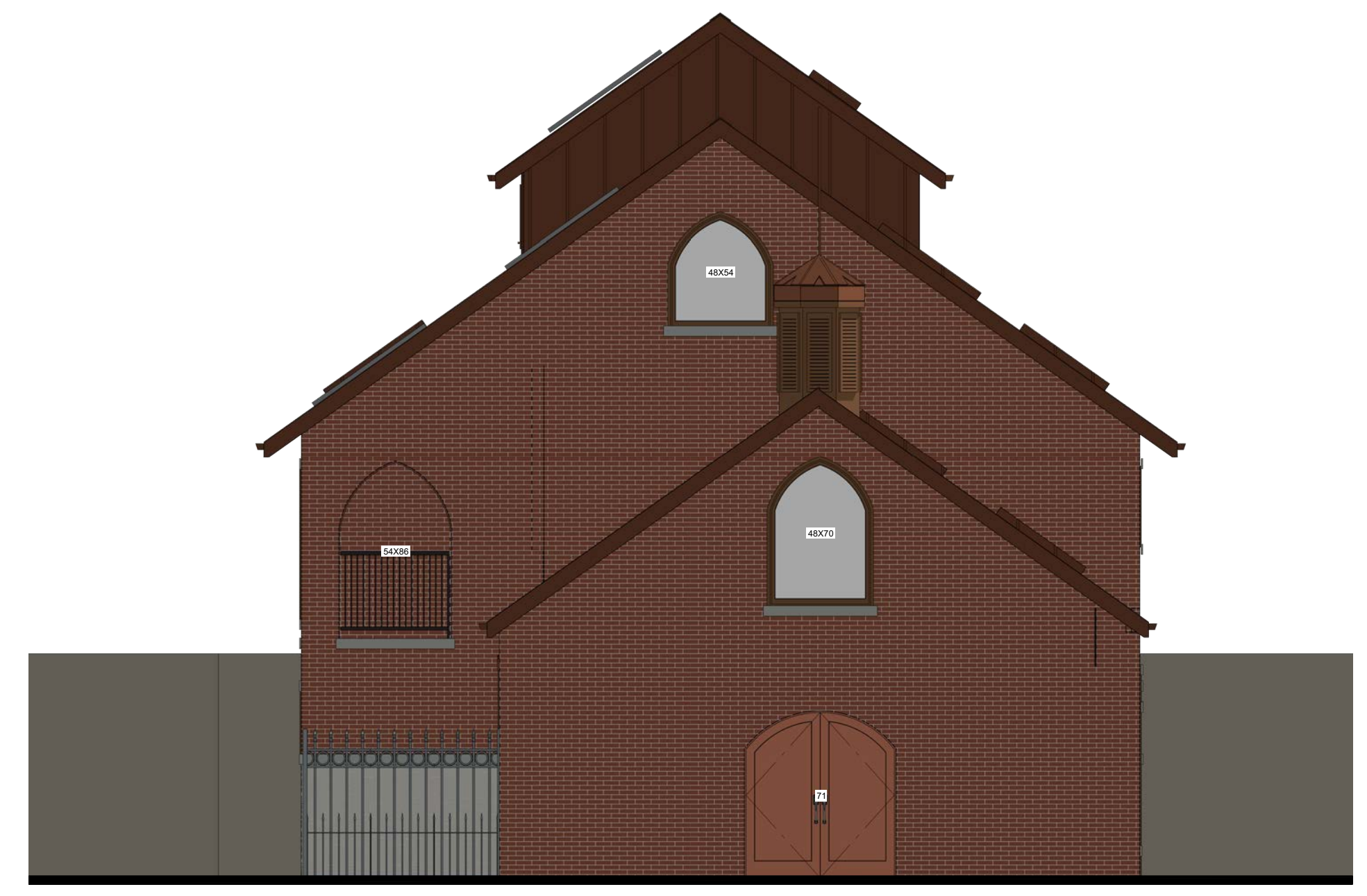
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JOB #:	DATE:	
23245	March 31, 2026	
	SHEET: 1 of 10	23245



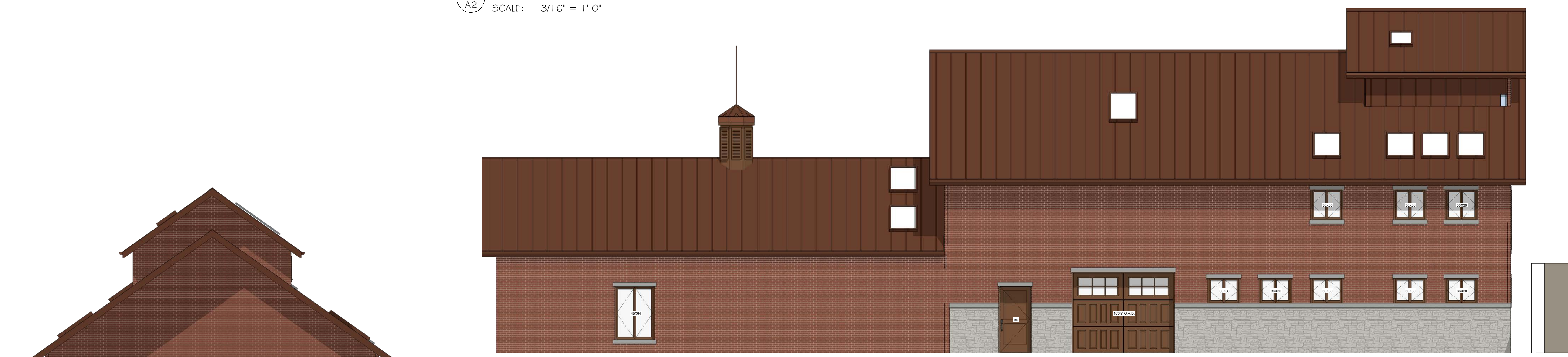
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2 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



3 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



4 WEST ELEVATION  
SCALE: 3/16" = 1'-0"

No.	DATE	DESCRIPTION	BY
REVISIONS			
<small>BASE MAIN FLOOR = 3055R' SECOND FLOOR = 1904R' THIRD FLOOR = 230R'</small>			

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PROJECT:  
PROPOSED RESIDENCE

LOCATION:  
166 WEST ST., KINGSTON, ON

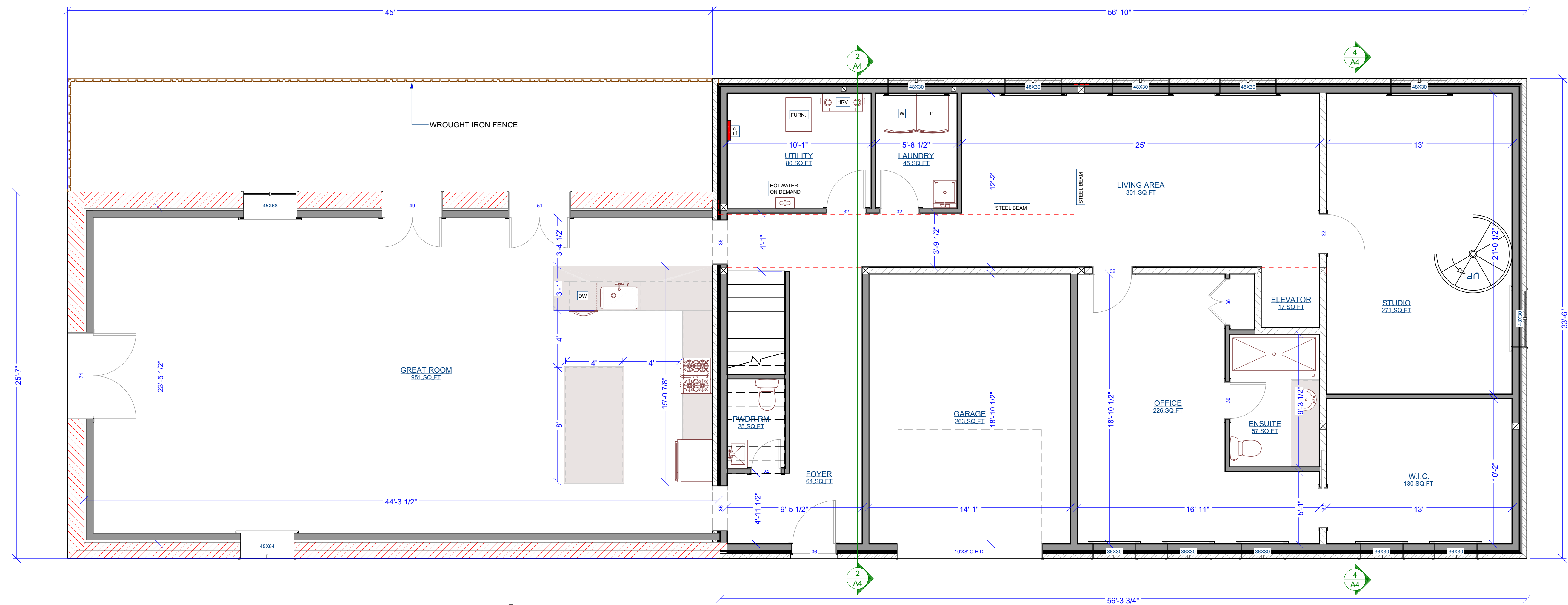
FOR:  
ROB & LESLIE BAKER

DRAWING:  
ELEVATIONS

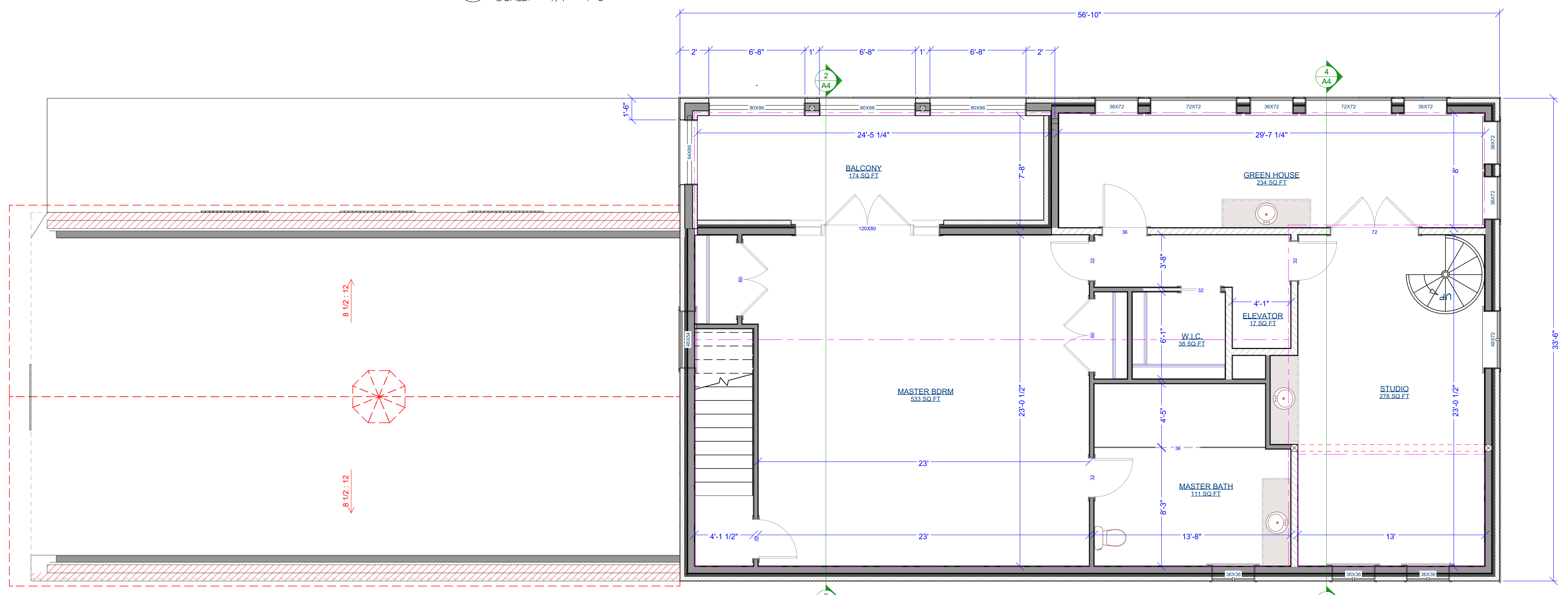
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ARCH. CD		
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ELE. CD	DATE:	
	March 31, 2026	
JOB #:	SHEET: 2 of 10	23245
23245		



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1 MAIN FLOOR PLAN  
A3 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN  
A3 SCALE: 1/4" = 1'-0"

No.	DATE	DESCRIPTION	BY
REVISIONS			

AREA  
MAIN FLOOR = 3055sq'  
SECOND FLOOR = 1304sq'  
THIRD FLOOR = 230sq'

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PROJECT:  
PROPOSED RESIDENCE

LOCATION:  
166 WEST ST., KINGSTON, ON

FOR:  
ROB & LESLIE BAKER

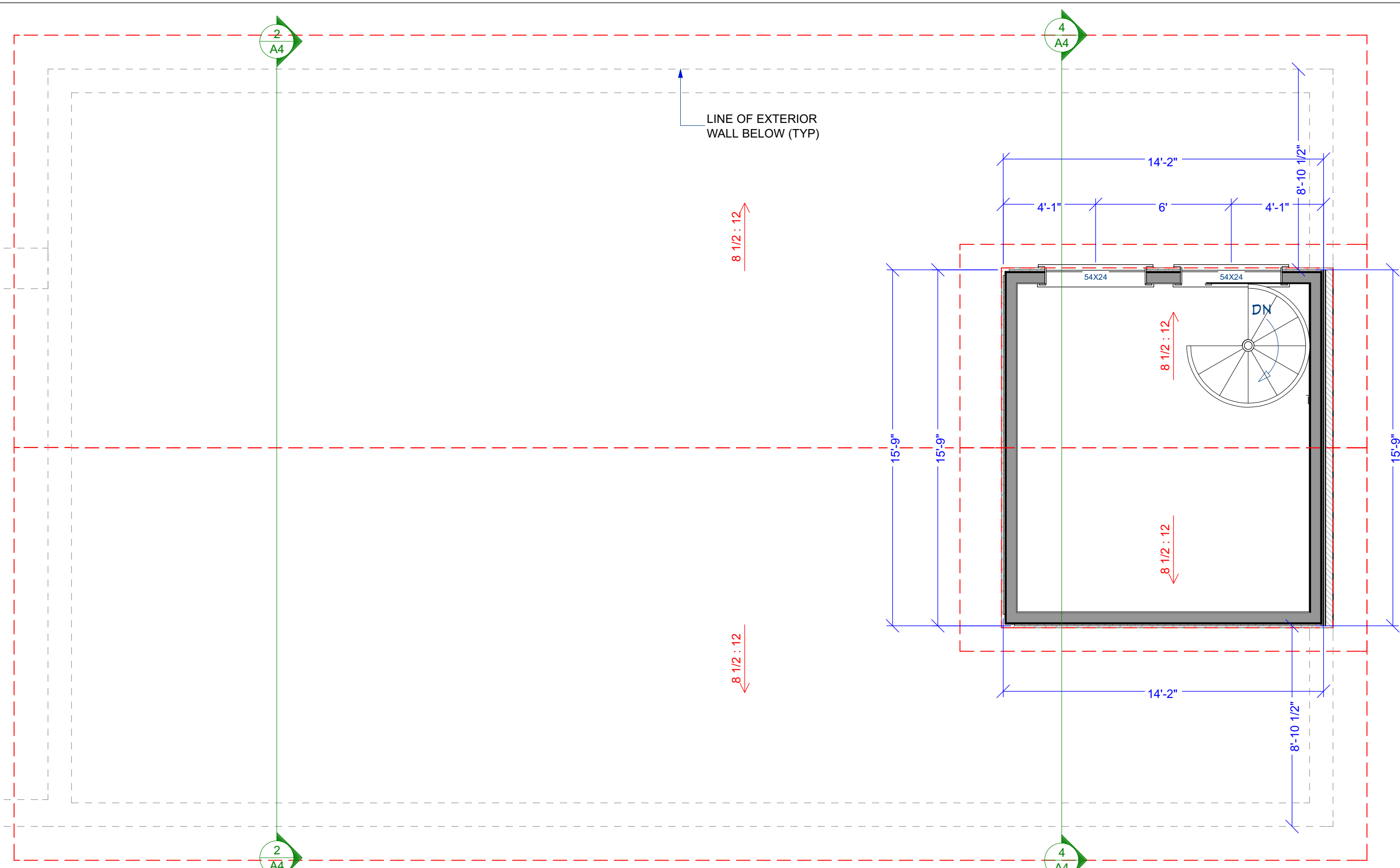
DRAWING:  
MAIN FLOOR PLAN  
SECOND FLOOR PLAN

REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	1/4" = 1'-0"	A3
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MEC. ET		
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JOB #: 23245	DATE: March 31, 2026	SHEET: 3 of 10
		23245

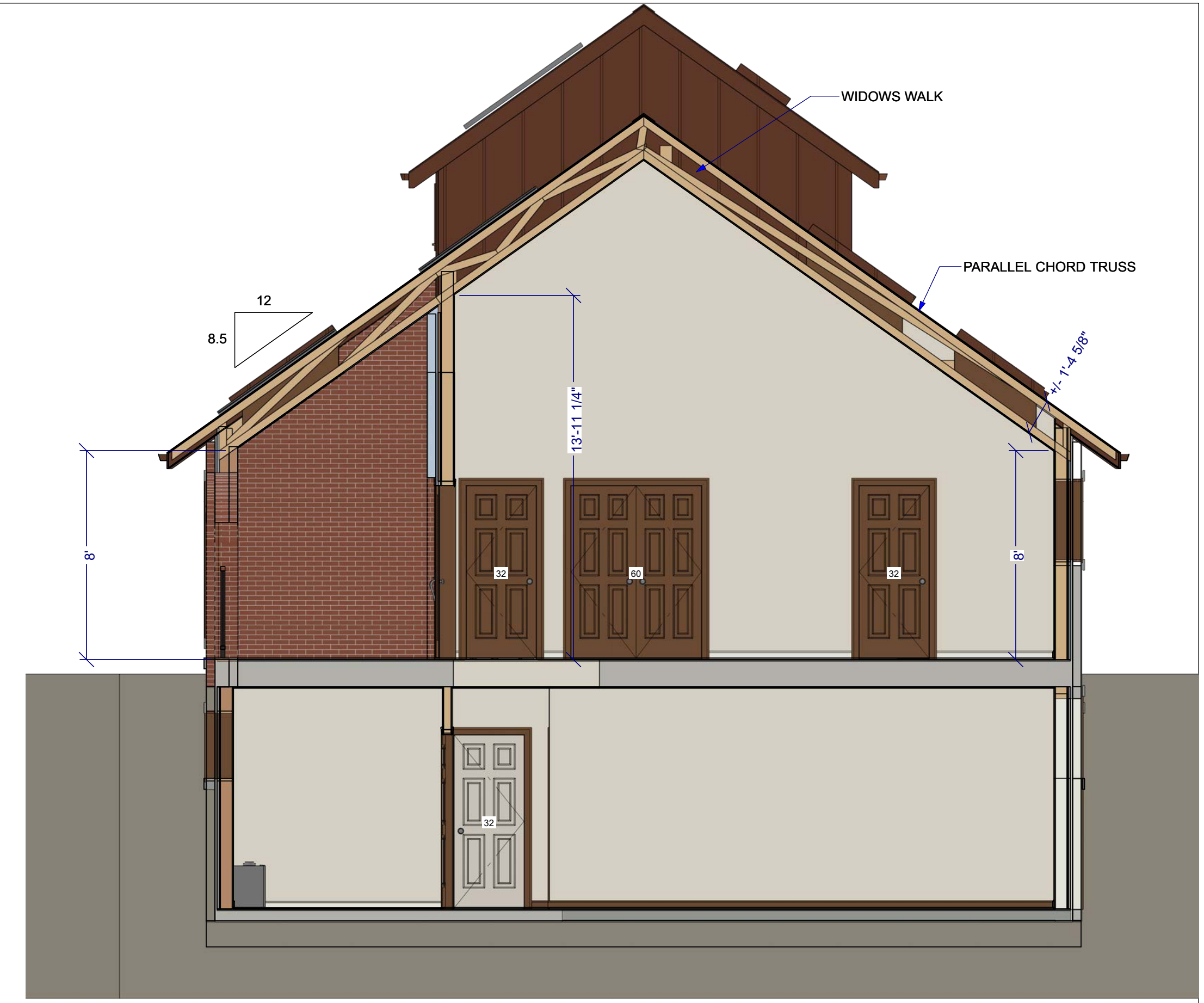


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KINGSTON, ONTARIO CEL 613 561-3428  
K7M 1S2 FAX 613 531-0602

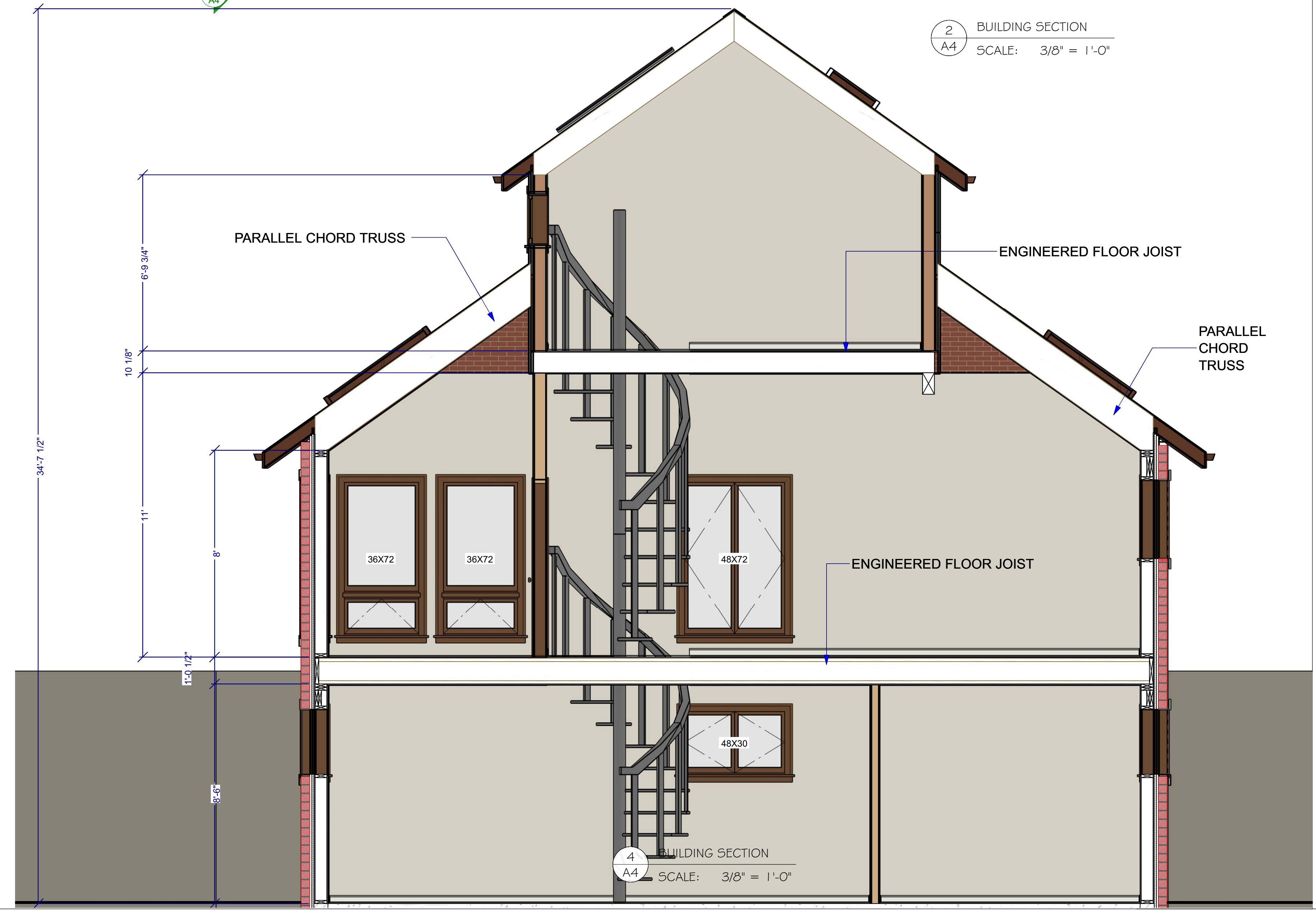
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1 THIRD FLOOR PLAN  
A4 SCALE: 3/8" = 1'-0"



2 BUILDING SECTION  
A4 SCALE: 3/8" = 1'-0"



4 BUILDING SECTION  
A4 SCALE: 3/8" = 1'-0"

3 BUILDING SECTION  
A4 SCALE: 3/8" = 1'-0"

No.	DATE	DESCRIPTION	BY
REVISIONS			
<small>BASE MAIN FLOOR = 3055sq' SECOND FLOOR = 1904sq' THIRD FLOOR = 230sq'</small>			

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PROJECT:  
PROPOSED RESIDENCE

LOCATION:  
166 WEST ST., KINGSTON, ON

FOR:  
ROB & LESLIE BAKER

DRAWING:  
THIRD FLOOR PLAN  
BUILDING SECTION

REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	3/8" = 1'-0"	A4
ARCH. CD		
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ELE. CD	DATE:	
JOB #:	March 31, 2026	
23245	SHEET: 4 of 10	23245



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No.	DATE	DESCRIPTION	BY
REVISIONS			

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SECOND FLOOR = 1904sq'  
THIRD FLOOR = 230sq'

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BUILDING DEPARTMENT.

PROJECT:  
PROPOSED RESIDENCE

LOCATION:  
166 WEST ST., KINGSTON, ON

FOR:  
ROB & LESLIE BAKER

DRAWING:  
RENDERINGS

REVIEWED BY:	SCALE	DRAWING No.
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ARCH. CD		
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JOB #: 23245	DATE: March 31, 2026	23245
	SHEET: 5 of 10	

# MEMORANDUM

**TO:** Grant Snyder

**FROM:** Benjamin Holthof, MPI MMA RPP MCIP CAHP, and  
Lisa Coles, MPI RPP MCIP CAHP

**DATE:** 01 April 2026

**RE: HERITAGE IMPACT STATEMENT ADDENDUM, 166 WEST STREET, KINGSTON, LHC0566**

---

## 1 INTRODUCTION

In March 2022, LHC Heritage Planning & Archaeology Inc. (LHC) prepared a Heritage Impact Statement (**HIS**) for 170-174 Earl Street and 200 West Street for a consent to sever and a zoning by-law amendment. The HIS responded to a proposal to sever the southern section of the Properties and rezone both the retained and the new parcels. The HIS was submitted to the City of Kingston as a component of the consent to sever and zoning by-law amendment. The application was subsequently approved, and the stables were provided with their own unique address of 166 West Street (the **Property**). A legal agreement was registered on title as part of the severance approval with a special condition that an addendum to the 2022 HIS be prepared when details for rehabilitation are known. This HIS Addendum has been prepared to address the special condition.

The Property is located in the Old Sydenham Heritage Conservation District (the **HCD**) and designated under Part V Section 41 of the *Ontario Heritage Act* (**OHA**). At the time of the 2022 HIS, specific redevelopment plans were not prepared; however, concept drawings and renderings for potential ideas for the stables were explored. These ideas included the retention and rehabilitation of the stables with some elements of new construction. The HIS concluded that the proposed retention, rehabilitation, and new construction associated with the stables would not result in adverse impacts to the heritage attributes of the HCD. In fact, contemporary rehabilitation of the stables into a residential use is consistent with one of the HCD's heritage attributes (see Section 8 of the 2022 HIS). Additionally, the HIS found that the concept of rehabilitation of the stables is generally compliant with guidance from the HCD Plan and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (**S&Gs**). See Section 8 of the 2022 HIS for the complete impact assessment.

Since the 2022 HIS, a new and preferred design concept has been developed for the stables. This HIS Addendum focuses on the new design's compliance with the policy and guidance of the

HCD Plan. Based on the design's compliance and consistency with the HCD Plan, this HIS Addendum will make recommendations for design modifications and heritage conservation strategy – as appropriate.

## 2 CURRENT CONDITIONS

The stable is a one-and-a-half storey brick construction on a cut-stone foundation with a rectangular plan and a medium pitch front gable roof with decorative bargeboard, an octagonal cupola, overhanging eaves, and exposed beams (Photo 1). The south elevation is constructed of cut-stone instead of brick (Photo 2). The rear (west elevation) addition is a one-storey brick construction on a cut-stone foundation with a rectangular plan, a steep pitch front gable roof, and a cut-stone south elevation wall (Photo 3).

Entrances to the building generally have wood surrounds and are a combination of wood barn doors and wood garage doors. Other entrances to the building include a single door entrance on the south elevation with a wood lintel (Photo 2), a flat-headed single door entrance fit into a segmental door opening with a cut-stone radiating voussoir on the south elevation (Photo 2), and a boarded up double door entrance on the main storey of the addition with a brick radiating voussoir (Photo 4). The east elevation also features a wood loading door in the half-storey with a triangular arched wood transom, brick voussoir, and wood surround; a segmental, radiating voussoir from the original central double door entrance (Photo 1); and a string course between the first and half-storeys that seems to indicate the presence of a former covered porch (Photo 1). The north elevation has a section of brick wall that has been removed and replaced with wood siding and garage door surrounds and the former garage doors are covered in vinyl siding. The north elevation of the addition also has a large door opening with a wood lintel and base that has been filled in with vinyl siding (Photo 4).

Windows generally include a flat-headed window opening with wood lug sills and radiating stone voussoirs. Some windows are flat-headed fit into a segmental window opening and others have radiating brick voussoirs (Photo 1 to Photo 4).

The 2022 HIS noted that the building retains its heritage integrity, but the physical integrity of the stables was poor based on a superficial visual inspection. Based on a superficial visual inspection conducted on 10 March 2026 by Manager of Heritage Consulting Services Benjamin Holthof, the physical integrity of the building has continued to deteriorate since the previous HIS and its condition appears to be worse as evidenced by bulging walls (Photo 5).

For the condition of the stables in 2022, see Section 5 of the 2022 HIS.



Photo 1. View of the facade (east elevation)



Photo 2. View of the south elevation



Photo 3. View of the west elevation of the rear addition



Photo 4. View of the north elevation



Photo 5. View of the south elevation of the addition

### 3 CONSERVATION STRATEGY

The proposed project is a rehabilitation project with opportunities for partial restoration.

#### 3.1 STANDARDS AND GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA

The project and its design are guided by the *Standards and Guidelines for the Conservation of Historic Places in Canada (S&Gs)* and should continue to be guided by these standards to guide conservation work. For a full list of the Standards as outlined by the S&Gs, see Section 10.1 of the 2022 HIS. In general, the Standards call for a minimum intervention approach and a repair rather than replace philosophy. When replacement is required, replicate and replace in kind. New additions should be physically and visually compatible, subordinate to, and distinguishable from the existing building. As noted in the 2022 HIS, the project as a whole meets Standard 1 and Standards 5 through 9. The S&Gs should continue to inform project planning and implementation as the project progresses.

#### 3.2 WELL PRESERVED

*Well Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* (2003) outlines conservation principles for heritage properties. Principles relevant to this project as it progresses include:

- 1.1 Planned Conservation;
- 2.1 Co-ordinated work;
- 2.3 Work in Order;
- 2.4 Work at Right Pace;
- 2.5 Appropriate Skills;

- 2.6 Second Opinions When in Doubt;
- 4.1 Respect for (Natural) Aging Process;
- 5.1 Priorities of Features, Priorities of Work;
- 5.3 Minimal Alteration, Minimal Intrusiveness;
- 6.2 Maximum Retention;
- 6.3 Patina Preserved;
- 7.1 Traditional Repair (Proven Technology);
- 7.2 Replacement In Kind/Recycled Materials;
- 7.4 Cautious High-Tech Repair;
- 7.6 Maintainable Repairs;
- 7.7 Gentle Cleaning;
- 8.2 Added Value (High Quality) in New Work; and,
- 9.2 Faithful Maintenance.<sup>1</sup>

The addition to the building should consider visual harmony with the retained part of the building and the character of the HCD. Work on rehabilitating the stable should consider these conservation principles in the detailed planning and implementation stages of the project.

### 3.3 EIGHT GUIDING PRINCIPLES

The Eight Guiding Principles - prepared by the Ministry of Tourism, Culture and Sport (now the Ministry of Citizenship and Multiculturalism) - are useful as a tool to help guide change to cultural heritage resources. These principles are intended to provide a basis for decisions concerning “good practice” in heritage conservation. The applicable principles are identified in Table 1.

Table 1. Recommendations to Address the Applicable Principles from the *Eight Guiding Principles*<sup>2</sup>

Principle		Recommendation
<b>3</b>	<b>Respect for historic materials:</b> repair/conservе—rather than replace building materials and finishes, except where absolutely necessary.	Minimal intervention is recommended for original materials. Existing materials should be repaired and only replaced if too damaged or deteriorated. Integration of

<sup>1</sup> Mark Fram, *Well Preserved: The Ontario Heritage Foundation’s Manual of Principles and Practice for Architectural Conservation* (Toronto: Boston Mills Press, 1992), 44-56.

<sup>2</sup> Ministry of Citizenship and Multiculturalism, “Eight guiding principles in the conservation of built heritage properties,” last modified 25 October 2022, accessed 19 March 2026, <https://www.ontario.ca/page/eight-guiding-principles-conservation-built-heritage-properties>.

Principle		Recommendation
	Minimal intervention maintains the heritage content of the built resource.	new materials to replace damaged and deteriorated material should be completed by qualified professionals.
4	<b>Respect for original fabric:</b> repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.	The same or similar materials to the original fabric should be used for repairs. Repairs should be completed by qualified professionals.
6	<b>Reversibility:</b> alteration should be able to be returned to original conditions. This conserves earlier building design and technique, e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.	Reversibility of alterations should be considered during the planning process. This can be as simple as documenting before, during, and after works are completed with notes to guide potential future restoration. Material that is removed should be kept and reused either in another part of the building or saved for later repairs.
8	<b>Maintenance:</b> with continuous care, future restoration work will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.	A long-term maintenance plan should be developed in collaboration with the materials experts.

#### 4 DESCRIPTION OF PROPOSED RENOVATION

The owners are proposing to convert the stables into a residential dwelling (Figure 1 and Figure 2). The rehabilitated building will match the footprint of the historic structure. This project will retain, rehabilitate, and renovate the oldest portion (east half/fronting onto West Street) of the existing building. The rear addition will be deconstructed and materials saved to reuse in the new rear addition or to repair the retained portion of the building. Any new brick that is required for the project will match the existing brick (Figure 3).

Restoration and rehabilitation of the east section of the building includes maintaining and repairing all original openings in the stone and brick walls (Figure 1 and Figure 2). One door opening in the south stone wall will be modified with a stone arch to replace a rotten wood lintel. The east elevation will have the two garage door openings removed and the original, central opening under the existing segmental brick arch recreated. The triangular arched opening above will be converted into a window. The north elevation brick wall will also be retained and repaired. The section of the north elevation of the main building that is currently

wood siding will be restored to brick. On the north elevation, only the flat-headed opening for a window on the main building will be maintained. The vergeboard on the façade will also be retained, repaired, and replicated where necessary. The current roof will be replaced with a standing seam metal roof, and the cupola will be replicated, clad in copper, and be comprised of a combination of windows and faux louvres to let light into the space below.

The new rear addition will be two-and-a-half storeys in height with a front-facing gable roof and a concrete foundation. It will include a balcony on the south side second floor with gothic-style pointed arched openings and an iron railing. The building will be clad in stone on the first storey and brick for the remainder. Existing limestone and brick will be reused where possible. It will have a gothic arched opening beneath the gable on the east elevation, a series of fixed picture windows on the west side of the south elevation, and small rectangular windows on the west side of the north elevation and on the first storey of the south elevation. The rear addition will feature one rectangular window on the first storey, a set of paired flat-headed windows on the second storey, and a single flat-headed window on the second storey. The north elevation will have a single flat-headed entrance offset to the east side and a wood garage door offset to the east side and west of the single door entrance. Skylights and solar panels are proposed for the roof (Figure 1 and Figure 2).

All windows will be wood French In-Swing Casement windows from LePage Millwork (Figure 4). The two doors on the south elevation of the main building are proposed to be wood balcony doors from LePage Millwork (Figure 5). The main entrance on the façade is proposed to be a set of red grandis wood double doors (Figure 6).

A black iron style fence is proposed around a small patio on the south side of the eastern half of the building (Figure 7). The fence may also include a low stone wall below the ironwork. The fence is proposed to be 5 feet 6 inches in height. The iron balusters will be decorative with scrollwork and a central diamond or similar feature.

## **5 Old Sydenham HCD Policy And Guidance Review**

The HCD Plan divides goals and objectives, polices, and guidelines into separate sections. This HIS Addendum reviews the details of the proposed design against relevant objectives, policy and guidance from the HCD Plan. Table 2 reviews the project against goals and objectives from the HCD Plan. Table 3 reviews the project against policies from the HCD Plan. Table 4 reviews the project against guidance from the HCD Plan.

**5.1 GOALS AND OBJECTIVES**

Table 2. HCD Plan Goals and Objectives review

Policy/ Guideline	Policy/Guideline Text	Discussion
<b>2.5.1</b>	<p>Goal: To conserve, enhance and appreciate the heritage attributes of the Old Sydenham Heritage Conservation District (HCD) by:</p> <ul style="list-style-type: none"> <li>• Supporting and encouraging the conservation and continuing use of the district’s heritage attributes, rather than demolition and replacement.</li> </ul>	<p>The proposed renovations to the stables continue to use a historic building in the HCD instead of demolishing it and replacing it. The project will conserve cultural heritage value where the building may otherwise be lost due to its poor condition.</p> <p>The proposed addition includes gothic style arches inspired by nearby buildings –such as the adjacent Sydenham Public School.</p>
<b>2.5.2 Heritage Buildings</b>	<p>Goal: To conserve and enhance the existing built heritage resources and protect them from inappropriate changes or demolition by:</p> <ul style="list-style-type: none"> <li>• Retaining and conserving heritage buildings identified in the District Study;</li> <li>• Fostering continuing use of heritage buildings;</li> <li>• Conserving heritage buildings or structures by using the accepted principles and standards for heritage conservation, as outlined in this Plan;</li> <li>• Encouraging retention and restoration of original features of heritage buildings, based on archival and pictorial evidence and the</li> </ul>	<p>The proposed development will retain and rehabilitate the existing heritage building while fostering its continued use. The HCD Plan’s principles and standards for heritage conservation will be followed as will the Standards outlined in the S&amp;Gs. Original features will be restored based on existing physical features. Exteriors will be maintained once the project is complete.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<p>assessment provided in the District Study and, where feasible, to remove incompatible past alterations made to heritage buildings;</p> <ul style="list-style-type: none"> <li>Encouraging property owners to maintain the exteriors of heritage buildings to prevent deterioration as well as damage from fire or the elements</li> </ul>	
<p><b>2.5.3 Landscape / Streetscape</b></p>	<p>Goal: To maintain and enhance the visual, contextual and functional character to the Old Sydenham streetscape and public realm by:</p> <ul style="list-style-type: none"> <li>Preserving views along existing streets of landscape and built features, especially views down to the lake</li> <li>Recognizing a balance between rental and owner-occupied residential property within the district as permitted by longstanding and current zoning;</li> </ul>	<p>Views along existing streets will be preserved. The proposed development will retain the existing street adjacent section of the building and construct a new rear addition. The existing rear addition does not currently impede any views along the street and the new addition will be a modest increase in height.</p> <p>The proposed project will result in residential use of the property, which will add to the balance of rental and owner-occupied residential properties in the area.</p>
<p><b>2.5.4 Land Use</b></p>	<p>Goal: To conserve the mixed-use, low density and primarily residential character of the Old Sydenham HCD by:</p> <ul style="list-style-type: none"> <li>Encouraging alterations and new infill that is compatible with the arrangement, scale, architectural styles and materials that constitute the district's heritage character;</li> </ul>	<p>Alterations to the existing building will be compatible with the arrangement, scale, architectural styles, and materials of the District. The use of brick and stone will be maintained. The retention of the existing east half of the building will maintain the arrangement, scale, architectural style and materials that constitute the HCDs heritage character. The proposed alterations will add to the</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
		<p>accessory building and industrial style of the stables.</p> <p>Retaining the main building complies with Standards 1, 3, and 6 of the S&amp;Gs. The new rear addition complies with Standards 11 and 12.</p>

**5.2 POLICY**

Table 3. HCD Plan Policy review

Policy/ Guideline	Policy/Guideline Text	Discussion
<p><b>2.6 Conservation and Development Policies</b></p>	<p>The overall policy objectives for conservation and development in the proposed district are:</p> <ul style="list-style-type: none"> <li>• To encourage the conservation of existing cultural heritage resources;</li> <li>• To conserve and enhance streetscapes so as to maintain the character of the district;</li> </ul>	<p>Conversion of the stables into a residential dwelling includes the conservation of the building through partial restoration and rehabilitation for new use.</p>
<p><b>2.6.1 District Policies</b></p>	<p>a) The distinct heritage character of Old Sydenham, as defined in this District Plan, shall be maintained and enhanced.</p>	<p>The heritage character of Old Sydenham will be maintained. The retention, rehabilitation, and limited alteration of the existing building ensures that the heritage character of the District will be maintained and enhanced.</p> <p>Design inspiration for the addition draws on the character of the surrounding area.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
<p><b>2.6.2 Heritage Buildings</b></p>	<p>a) All alterations and conservation work requiring an application for alteration, as defined in the District Plan, shall be undertaken in accordance with the policies and guidelines of this Plan. Maintenance and minor alterations, as defined in the District Plan, shall have regard for the policies and guidelines of the District Plan.</p> <p>d) Demolition of heritage (contributing) properties, as defined in the Plan, shall not be permitted except as a last resort, and rehabilitation of the existing structure will be encouraged. Where, by Council decision, buildings must be demolished for reasons of health and safety due to fire, natural disaster or other reasons, the replacement structure shall be designed in conformity with the policies and guidelines of this District Plan.</p>	<p>Proposed alterations and conservation work will be undertaken in accordance with the policies and guidelines of this Plan and the S&amp;Gs.</p> <p>Demolition of the building is not proposed. However, the rear addition will be deconstructed to install a foundation and a new rear addition constructed. Elements of the existing building that are in poor condition may require replacement, which will be undertaken in conformity with the policies and guidelines of this Plan and the S&amp;Gs.</p>
<p><b>2.6.3 Landscapes and Streetscapes</b></p>	<p>b) Heritage attributes of landscapes and streetscapes, including parks, as defined in the District Plan, shall be conserved and enhanced following the policies and guidelines of this District Plan.</p> <p>c) Alterations to landscapes and streetscapes within the district shall be permitted, providing that such alterations conform to the policies and guidelines of this Plan.</p>	<p>As explored in the 2022 HIS, the heritage attributes of the landscapes and streetscapes of the District will be conserved. The limited alterations to the Property will enhance the landscapes and streetscapes of the District and will conform to the policies and guidelines of this Plan.</p> <p>The proposed alterations include a garage on the north side of the building to address parking.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	d) Provision of parking and traffic management within the HCD shall have regard for guidelines of this District Plan.	
<b>2.6.4 Regulatory Process</b>	b) Major alterations and additions, as defined in the District Plan, shall require an application for alteration (heritage permit) and be subject to the approval process described in this District Plan	The proposed works will require a Heritage Permit application to the City of Kingston as outlined in the HCD Plan. This HIS Addendum is being prepared as part of the Heritage Permit application.

### 5.3 GUIDANCE

Table 4. HCD Plan Guidance review

Policy/ Guideline	Policy/Guideline Text	Discussion
<b>4.3.1 Roofs – Roofing Materials</b>	<ul style="list-style-type: none"> <li>Where original roofing remains in place, use replacement roofing material to match original material (i.e., like-for-like). Where the existing roofing material differs from the original material, it is preferable that new replacement materials match the original material.</li> <li>Recondition existing standing seam metal and slate roofs where viable. Repair and replace damaged slates with matching slates and metal roofing systems by a roofer skilled in slate/ metal roofing installation.</li> </ul>	<p>The existing roofing material is asphalt shingle on the east half of the building and metal on the west half of the building. The rafters, roof boards, shingles, and metal roofing are in poor condition. The building will have an entirely new roof because the existing roof structure and material are in poor condition. Reconditioning the metal roofing is not possible.</p> <p>The renovations propose a standing seam metal roof for the entire structure to avoid having dissimilar roofing materials.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<ul style="list-style-type: none"> <li>Existing roof should not be covered over with dissimilar roofing materials, otherwise this is not a conservation approach and falls under the Application for Alterations process of Section 8.0.</li> <li>Where existing roofing materials have been replaced by asphalt shingles, and replacement with materials that match the existing is not feasible, use premium quality shingles for maximum life expectancy (30 years +) of grey, brown or black colours. Plain solid coloured dark shingles are preferred to textured/ variegate, ‘architectural’ shingles.</li> <li>Provide continuous vapour barrier system, insulation, and attic ventilation to prevent the formation of ice dams. On roofs prone to ice dam formation, install additional waterproofing beneath the roof when re-roofing. The presence of a continuous vapour barrier system, insulation and attic ventilation prevents warm interior air from entering the attic space and vents moist air as a significant defence against ice dam formation. Install new attic vents in areas not visible from the street.</li> </ul>	<p>The standing seam metal roof will be a long-lasting material to reduce maintenance requirements, which is an overall benefit to the property and the HCD.</p> <p>The replacement of the roof is compliant with Standards 9 and 10 of the S&amp;Gs.</p>
<p><b>4.3.1 Roofs – Gables,</b></p>	<ul style="list-style-type: none"> <li>The size and shape of dormers is governed by the Zoning By-law.</li> </ul>	<p>Dormers are not proposed.</p>

<b>Policy/ Guideline</b>	<b>Policy/Guideline Text</b>	<b>Discussion</b>
<b>Dormers, and Turrets</b>	<ul style="list-style-type: none"> <li>• Keep decorative turrets and gables free of siding, coverings or flashings that obscure existing details.</li> <li>• As with other exterior components, replace original deteriorated material matching like-for-like components, or replicate based on documentary evidence if restoration of existing surfaces is not viable.</li> <li>• Ensure all roofing penetrations are properly flashed to prevent moisture penetration and all new wood materials are suitably selected and/or treated for exposure to exterior moisture conditions.</li> <li>• Roof alterations, including new dormers, skylights, etc., are addressed under Section 5.0 ‘Alterations’.</li> </ul>	<p>Gables will be free of siding, coverings, and flashings that obscure existing details. Turrets are not proposed.</p> <p>The octagonal cupola is in poor condition. Replication is proposed. The new cupola will be clad in metal with a combination of windows and faux louvres to facilitate light penetration into the space below. This is not an exact replica; however, it will rehabilitate this heritage feature and make it a functional part of the building. This is consistent with Standards 9 and 10 of the S&amp;Gs.</p> <p>Metal cladding and flashing on the cupola is intended to prevent moisture penetration into the building.</p>
<b>4.3.1 Roofs – Soffits, Fascias, Eavestroughs and Downspouts</b>	<ul style="list-style-type: none"> <li>• Retain decorative fascia detailing (e.g., verge boards); replace deteriorated wood with new wood cut to replicate the original if existing materials cannot be restored.</li> <li>• Scrape and repaint original painted surfaces; identify causes of paint film peeling and blistering prior to repainting (frequently caused by moisture pathways</li> </ul>	<p>The existing vergeboard will be retained, repaired, and replicated, as necessary. This is consistent with S&amp;G Standards 1, 3, 6, 8, 10, and 13.</p> <p>The exposed rafters in the soffit should remain visible and not be covered with a new soffit.</p> <p>The existing vergeboard will not be covered in new materials.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<p>behind the painted layer). Avoid the use of chemical strippers and heat guns as these can permanently damage woodwork.</p> <ul style="list-style-type: none"> <li>• Avoid covering original materials with new materials and use ‘like-for like’ replacements if existing materials cannot be restored.</li> <li>• Replace eavestroughs and downspouts to original material and detail. Provide spill pads and downspout extensions for the control and diversion of water run-off away from building foundations and pedestrian areas. New eavestroughs and downspouts shall be discreet in appearance and match existing adjoining construction.</li> </ul>	<p>The existing building does not have eavestroughs and downspouts. A system of new eavestroughs and downspouts is proposed to control and divert water run-off away from the building foundations. This will enhance conservation of the building by protecting its foundation from future damage.</p> <p>The new eavestrough and downspout system is proposed to blend with the roof and be a discreet addition to the building.</p>
<p><b>4.3.2 Exterior Walls – Brick and Stone</b></p>	<ul style="list-style-type: none"> <li>• As required in the existing City of Kingston Policy on Masonry Restoration in Heritage Buildings (as may be amended) re-pointing of brick and stone masonry should match the colour and be of the appropriate type and mixture that will not damage the masonry material.</li> <li>• Replacement stone should match the original as closely as possible in terms of source and profile. Cracked or deteriorated stone</li> </ul>	<p>Repointing brick and stone masonry will be the appropriate type, mixture, and colour.</p> <p>Brick from the west half of the building will be recycled to restore parts of the east section of the building –where possible. New red-orange brick with some darker areas around the edges is proposed when needed. The proposed replacement brick and stone is expected to closely match the original. The mason on the project is a specialist in such work.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<p>surfaces should be stabilized using approved conservation methods undertaken by a specialist in such work.</p> <ul style="list-style-type: none"> <li>• Painting of previously unpainted brick or stone surfaces is not recommended and can result in trapping moisture in the wall assembly, the acceleration of masonry deterioration and maintenance cycles.</li> <li>• Keep rainwater from continuous contact with masonry walls by retaining roof overhangs and ensuring proper drainage from roof surfaces, and positive drainage at grade of storm water.</li> </ul>	<p>Painting of brick or stone is not proposed.</p> <p>The proposed rehabilitation will retain roof overhangs and will include proper drainage.</p>
<p><b>4.3.3 Decorative Trim and Details</b></p>	<ul style="list-style-type: none"> <li>• Originals of these elements should be retained; removal or substantial alteration should be avoided, and original details conserved or replaced with new wooden versions selected or appropriately treated for exterior exposure.</li> <li>• Regularly inspect, repaint and use wood preservatives on decorative wood components.</li> <li>• Avoid using stock mouldings in standard profiles: instead, preserve and restore as much of the original trim as possible and use original elements as templates for</li> </ul>	<p>The decorative vergeboard on the east elevation of the building will be conserved and missing parts recreated based on the existing material.</p> <p>Existing wood decorative elements are in poor condition and have no paint or preservatives. Much of the wood on the exterior of the building will require replacement. Original decorative woodwork will serve as the template for repair and replacement parts.</p> <p>Wood will be covered in flashing or painted in colours compatible to the heritage character of the district.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<p>replacement sections.</p> <ul style="list-style-type: none"> <li>Choose paint colours that are compatible with the heritage character of the district and that are complementary to the age, style and detailing of the building. Select professional painters with specialist knowledge of historic paint types and application techniques needed to ensure proper adhesion between new and old paint systems.</li> </ul>	
<p><b>4.3.5 Windows and Doors</b></p>	<ul style="list-style-type: none"> <li>As required by the City of Kingston Policy on Window Renovations in Heritage Buildings (as amended from time to time) original windows that suit the heritage character of the building should be maintained and repaired rather than replaced. In most cases, wooden sash windows and storm windows, if properly fitted and maintained, can provide superior thermal insulation.</li> <li>Non-heritage exterior storm windows should be removed and replaced with interior removable storm windows. Use of interior storm windows will greatly reduce the condensation that typically forms on single pane windows during winter. As an alternative, also consider installing traditional wooden exterior storm windows.</li> </ul>	<p>The building does not have intact windows. All historic glazing is gone, and the wood frames are in very poor condition. Many of the windows and doors have been removed and the openings are covered in plywood. Wood lintels and sills are rotten. One storm window –in poor condition—remains on the building.</p> <p>The proposed rehabilitation includes new wood French In-Swing Casement Windows. Where new windows will fit historic openings, they will match the originals in terms of size, shape, and material. This complies with S&amp;G Standards 11 and 12.</p> <p>If storm or screen doors are proposed, they should be appropriate styles for the age and style of the building.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<ul style="list-style-type: none"> <li>• Refer to the “Alterations” section of these guidelines if existing windows are sufficiently damaged/deteriorated that they need to be replaced.</li> <li>• Choose storm doors and screen doors that are appropriate for the age and style of the building and use wooden framed doors if possible.</li> </ul>	
<p><b>4.3.6 Foundations</b></p>	<ul style="list-style-type: none"> <li>• Inspect foundations for cracking, settlement or loose materials, and repair accordingly</li> <li>• Inspect the interior face of foundation walls in accessible basement areas for moisture. Review the condition of mortar and foundation materials. Assess need for reapplying exterior foundation wall waterproofing and repairing weeping tile systems.</li> <li>• Undertake below grade foundation wall maintenance during waterproofing upgrades. Repair foundation walls by repointing mortar and replacing deteriorated brick/stone materials using traditional breathable lime-based mortar systems to avoid accelerated brickwork deterioration. Undertake work by skilled trades with heritage masonry restoration expertise.</li> </ul>	<p>The foundation should be inspected and repaired as required. The foundation of the west half of the existing building is inadequate and in very poor condition. A new foundation is required to support the proposed building.</p> <p>The foundation of the east half of the building will be inspected and repaired accordingly.</p> <p>Masonry work will be completed by people with heritage masonry restoration expertise.</p> <p>The proposed rehabilitation includes measures to ensure drainage will flow away from the foundations.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<ul style="list-style-type: none"> <li>• Consider applying insulation on the exterior face of the foundation wall in below grade areas not visible on the exterior. Exterior grade spray-foam insulation applied to cleaned and restored masonry provides both effective thermal and damproofing protection.</li> <li>• Ensure positive drainage away from all foundation walls and regularly check for settlement of backfill materials after work is completed.</li> </ul>	
<p><b>4.3.8 Environmental Sustainability – Solar Photovoltaic Cells / Thermal Panels / Skylights</b></p>	<ul style="list-style-type: none"> <li>• Panels should not be visible from the street.</li> <li>• Flush-mounted skylights are acceptable.</li> </ul>	<p>Solar panels are proposed for the south facing roof of the rear addition. Panels will be visible from the street. This is not compliant with this guidance. However, the panels are on the higher section of roof and as far from West Street as possible. The single storey—east—half of the building will not have solar panels.</p> <p>Flush-mounted skylights are proposed for the rear addition.</p> <p>The solar panels and skylights are positioned on the new addition instead of the rehabilitated section of the building and are as far from the street as possible to reduce their impact on the HCD.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
<p><b>5.2.1 Alterations</b></p>	<ul style="list-style-type: none"> <li>• Find out as much as possible about the original appearance and style of the building in order to determine the best options for alteration that respects the property’s heritage attributes.</li> <li>• In the first instance examine the building to ascertain and differentiate original construction from alterations and determine initial details, materials and layouts. Seek out documentary evidence in the form or drawings, photographic information to validate visual assessment findings wherever possible.</li> <li>• Look for properties within the district that are similar in age and style for further evidence of details and materials suitable for use in an alteration.</li> <li>• If original materials and construction are available, avoid replacing them with contemporary materials and construction methods.</li> <li>• Original elements such as windows, doors, porches and verandas and their details should be retained and restored whenever possible</li> <li>• Model replacement features and building forms on the originals in style, size,</li> </ul>	<p>A complete chronology of the history of the stables can be found in Appendix C of the 2022 HIS. Some images and fire insurance plans of the stables were included; however, not all of the structure is visible in the images. These images and fire insurance plans should be used to guide interventions to the stables.</p> <p>LHC’s 2022 HIS includes a visual examination of the building and its history to help inform an understanding of original construction and alterations.</p> <p>Original materials, elements, and construction of the building will be retained or restored rather than replaced. Severely deteriorated elements will be replaced with compatible replacements. This is consistent with Standards 1, 3, 6-9, 10, and 13 of the S&amp;Gs.</p> <p>Replacements will be modeled on the originals in style, size, proportions, and materials.</p> <p>Many of the proposed changes are not reversible, such as removing the rear section to rebuild it with a new foundation. Brick and stone from deteriorated parts of the building will be used to rehabilitate and restore other parts of the building.</p> <p>A record of alterations should be kept. Photographs before, during, and after renovations should be taken</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<p>proportions and materials, whenever possible.</p> <ul style="list-style-type: none"> <li>• When in doubt, make changes reversible and as inconspicuous as possible.</li> <li>• Record the alteration and retain samples of original materials that have been replaced.</li> </ul>	<p>and retained. Samples of original materials that have been replaced should be kept.</p>
<p><b>5.2.2 Additions</b></p>	<ul style="list-style-type: none"> <li>• Additions should be complementary to the main building and clearly secondary in terms of size; they should also be clearly distinguishable in form and detail.</li> <li>• Additions should be located away from the main street façade, at the rear of the building, and not add to the width of the front of the building.</li> <li>• The height of the addition should be no more than that of the main building and, preferably, lower, in order to clearly distinguish it from the original building.</li> <li>• Construction of additions should not entail removal, covering or other adverse impacts on the heritage attributes or other important architectural features of the original building.</li> <li>• Additions should avoid causing irreversible changes to the original building.</li> </ul>	<p>The proposed addition has been designed on the footprint of the west half of the building. It is taller than the original building but has been designed to be complementary through choice of materials for the cladding and roof and for the matching roof pitch.</p> <p>The addition will not be secondary in size and will make the overall profile of the rear addition larger than the restored east half of the building. The addition is away from the main façade on the rear of the building. It does not add width to the building. The addition facilitates conservation of the heritage value in the east (older) half of the building.</p> <p>The addition will be clearly distinguishable in form and detail as it will have larger windows and a contemporary ratio of window to wall space. The building will also include a balcony with gothic style arched openings. The addition is designed to complement the heritage value and the essential</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
		<p>form and integrity of the historic building consistent with Standards 11 and 12 of the S&amp;Gs.</p> <p>Arches on the addition should be visually compatible with the historic building and the area for visual harmony in the structure and with the surrounding area. The historic structure includes a segmental arch on the east façade, a triangular arch on the east façade, and flat openings above all other window and door openings. Using these opening shapes – where suitable—on the addition would complement the form and integrity of the historic building. The proposed gothic style arches have visual harmony with the surrounding character of the HCD.</p> <p>Construction of the addition will include removal of part of the historic stable building. However, the architectural features are on the east half of the building and will be retained. Material recycled from the west half of the building will –where possible—be used to repair and restore the east half of the building. The addition will facilitate restoration.</p> <p>The addition will cause irreversible change since parts of it will be removed and used elsewhere on the building. However, the poor condition of parts of the building have already caused irreversible change and the project will facilitate partial restoration and rehabilitation of the oldest part of the building.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
<p><b>5.3.1 Roofs</b></p>	<ul style="list-style-type: none"> <li>Record the alteration using photography and /or drawings. Retain samples of earlier materials that have been replaced.</li> <li>Roof profile visible from the street should remain unaltered</li> <li>Replacement roofing material should be compatible with the age and architectural style of the specific property.</li> </ul>	<p>Alterations should be documented. LHC’s 2022 HIS includes a photographic record of the building. It is recommended that additional photographs be taken before, during, and after renovations to keep a record of alterations.</p> <p>The roof profile of the rear section of the building, visible from the street, will be altered as a result of the addition. The roof profile of the oldest section of the building will not be altered. The pitch of the roof on the addition will match the historic roof pitch. The addition, including extra height, to part of the building facilitates conservation of the oldest part of the structure.</p> <p>Replacement roofing material is proposed to be standing seam metal. This is compatible with the age and architectural style of the building.</p>
<p><b>5.3.2 Windows</b></p>	<ul style="list-style-type: none"> <li>In accordance with the City of Kingston Policy on Window Renovations in Heritage Buildings, the “Windows Policy”, as amended from time to time, make efforts to recondition, repair and/or rebuild existing heritage-contributing windows before replacing them (refer to Section 4.3.5).</li> <li>Where existing heritage- contributing windows are too damaged to be repaired to the extent described in the Windows Policy,</li> </ul>	<p>Existing windows are severely deteriorated and in need of replacement. Original window styles are unknown.</p> <p>Replacement windows will be fit –where necessary— to existing openings and will be wood, clad in metal. The proposed style is compatible with historic buildings.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<p>new replacement windows should replicate as closely as possible the sash, material, glazing pattern, rail and stile dimensions, moulding patterns, muntin pattern and joinery of the original.</p> <ul style="list-style-type: none"> <li>• Simulated divided lights are permitted provided that they have profiled muntins applied at the exterior of the glass.</li> <li>• Do not alter the location, size, and shape of existing windows facing, or visible from, the street.</li> <li>• Do not create new openings for windows on façades visible from the street.</li> <li>• “In-fill” replacement windows are not acceptable (“In fill” = new sash &amp; frame set into existing frame).</li> <li>• Windows may be made of wood with painted extruded aluminum exterior; fibreglass with painted extruded aluminum exterior; vinyl with painted extruded aluminum exterior; thermally broken extruded aluminum frames with painted exterior finish. If these window types must be used, match the style, size and proportion of the original wooden windows, and provide a frame that can be painted to match the rest of the façade fenestration.</li> <li>• Avoid use of white vinyl windows.</li> </ul>	<p>Location, size, and shape of window openings facing or visible from the street will not be altered.</p> <p>No new window openings are proposed for the east half of the building.</p> <p>In-fill replacement windows are not proposed.</p> <p>New windows will be wood with aluminium exterior and will match the size and proportion of the original windows.</p> <p>White vinyl windows are not proposed.</p> <p>Dark, mirrored, or reflective glass are not proposed.</p> <p>Replacement windows are Energy Star rated.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
	<ul style="list-style-type: none"> <li>• Avoid use of dark, mirrored or reflective glass.</li> <li>• Avoid replacing hung sash windows with casement or other windows.</li> <li>• Where a replacement window is used it should be Energy Star rated.</li> </ul>	
<p><b>5.3.3 Cladding</b></p>	<ul style="list-style-type: none"> <li>• Make efforts to replace exterior cladding that has degraded beyond repair with new or reclaimed material to match.</li> <li>• Existing exterior cladding that is appropriate to the age and architectural style of the property should not be covered over with different cladding.</li> <li>• Cladding that is part of a new addition should be distinct from the cladding of the existing building. Horizontal siding is preferable to a board and batten design.</li> <li>• Acceptable cladding for a new addition includes: brick masonry; stone masonry; wood clapboard; fibre cement board with paint finish; stucco; wood shingles.</li> <li>• Vinyl/aluminum siding or asphalt shingles are not acceptable claddings for a new addition.</li> </ul>	<p>Deteriorated cladding materials on the building will be replaced with reclaimed material from the existing rear addition. New brick will be a red/orange colour and size that is close to the original brick. The new brick will include some colour variation similar to the original brick on the building.</p> <p>Existing exterior cladding material is not proposed to be covered with different cladding. The section of the north elevation that is currently wood siding is not original and will be replaced with brick as it would have been originally. This is consistent with Standard 14 of the S&amp;Gs.</p> <p>Cladding for the addition is proposed to match the existing cladding. The addition will be distinguishable in other ways.</p> <p>Brick and stone masonry are proposed for the addition.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
		Vinyl/aluminum siding and asphalt shingles are not proposed.
<p><b>5.4 Additions to Heritage Properties</b></p> <p><b>5.4.1 General</b></p>	<ul style="list-style-type: none"> <li>• Additions are not required to replicate an existing heritage style.</li> <li>• Make efforts to use cladding materials for additions to existing buildings that are complementary to, but distinct from, existing buildings, using offsets or reveals where new additions meet existing construction</li> <li>• Additions will be permitted at the rear of the existing mid-block building (zoning permitting).</li> <li>• Rear addition roof ridgeline height should not exceed the existing building roof ridgeline. Where the existing roof is a mansard roof, the top of parapet will be considered as the ridgeline.</li> </ul>	<p>The addition will not replicate an existing heritage style. The addition is at the rear of the building and is permitted.</p> <p>Brick that matches the existing brick is proposed for the addition. The new addition will be distinguishable in other ways.</p> <p>The addition will be at the rear of the existing building.</p> <p>The addition adds a storey to the building and the roof will, therefore, be higher than the existing roof ridgeline. Adding height enables conversion of the building for residential use and, therefore, enables the long-term conservation of the structure, which is a positive impact.</p>
<p><b>5.4.3 Porches, verandahs &amp; balconies</b></p>	<ul style="list-style-type: none"> <li>• New porches, verandahs and balconies are permitted to be added to an existing building where none currently exist provided that historical evidence and sufficient documentation concerning form and materials exists. (see Section 4.3.4 for guidelines on replacement porches and verandahs).</li> </ul>	<p>The proposed addition includes a balcony area built into the structure. It will have brick pillars and a parapet wall. The brick will be the same as the rest of the building.</p> <p>The balcony openings will be arched. The style of arches is consistent with some nearby buildings—i.e. the gothic arched openings on the adjacent Sydenham Public School building.</p>

Policy/ Guideline	Policy/Guideline Text	Discussion
		<p>The balcony will have a black cast or wrought iron style railing which complements the character of the HCD. Black metal railings are found on balconies throughout the HCD.</p>
<p><b>7.5 Landscaping on Private Property</b></p>	<ul style="list-style-type: none"> <li>• If fencing on private property is to be considered, it should be of high quality and constructed in wood (picket), iron (wrought or cast), or stone (as a base or wall). Concrete bases for fences are acceptable. Subject to the City’s Fence By-law (By-law 2014-140 as amended), use of chain link or pressure treated wood fencing is discouraged.</li> </ul>	<p>The proposed project includes a fenced area on the south side of the building. A black cast or wrought iron style fence is proposed, possibly with a limestone base wall. The iron or iron with limestone base fence complies with this guidance. Wrought or cast-iron fences with stone bases are found throughout the HCD.</p>

## 6 MITIGATION MEASURES AND CONSERVATION STRATEGY

The proposed design is substantially compliant with the HCD Plan's polices and guidance. However, the rear addition adds some height to part of the building and proposes solar panels that will be visible from the street. Proposed window opening shapes and arches around the balcony differ slightly from existing opening shapes on the building and more complementary shapes should be considered for the design to harmonize with the surrounding area. The changes are on the rear of the building but, due to the surrounding context that includes a parking lot next to the Property, they are visible from West Street.

The project design mitigates –reduces and offsets—adverse impacts by:

- keeping most of the changes to the rear half of the building on the new addition;
- recycling material from the west half of the structure to repair the east half;
- planning to use new brick that is similar in appearance to the historic brick on the building;
- restoring the east half of the building to conserve heritage value; and,
- making the new work physically and visually compatible with the east half of the building through the cladding and similar architectural features such as arches.

The project conserves heritage value by retaining as much of the original structure as possible while making changes that facilitate conservation. Rehabilitation of the building does not impair the essential form and integrity of the parts of the historic building that will be retained. The historic form and integrity of the east half of the building may be enhanced.

The conservation strategy for renovations is guided by a minimal intervention approach to the main historic features of the building, which are largely found in the eastern, oldest half of the structure. The building is in poor condition. However, the proposed renovations will retain walls that can be kept and will recycle historic brick and stone where possible. Intact heritage features will be kept and repaired where possible and recreated where necessary.

The proposed design for the rear addition includes brick and stone cladding to fit with the retained parts of the building. The ornamentation on the addition draws inspiration from ornamental details on the east half of the building. The building is designed to fit and harmonize with its historic features and the surrounding context.

LHC recommends:

- As the project progresses, a minimal intervention approach continue to guide decisions;
- Historic features on the building inform the designs for ornamentation, and window and door opening shapes (such as matching new window opening shapes and arches to historic ones);

- All works involving historic fabric be completed by qualified professionals specialized in heritage restoration;
- A documentary/photographic record of the building, before, during, and after renovations be made and kept; and,
- Consider where the arch designs in window openings on the addition can match similar features from the retained –historic—part of the building to complement the historic integrity and form of the historic building.

## 7 CONCLUSION

This HIS Addendum finds that the proposed rehabilitation of the stables building and the proposed design is substantially compliant with the objectives, policies and guidance from the HCD Plan. Elements that are not compliant with the HCD Plan guidance – such as, the height of the addition and the visibility of the proposed solar panels – are separated by the historic east (front) and modern (rear) halves of the building. The project facilitates restoration of the east half of the building and conserves features with heritage value, including the brick and stone walls, window and door openings, and the rooftop cupola. The west half of the building will be largely rebuilt but will generally fit the character of the building and surrounding area through use of limestone and brick cladding that is very similar to the historic materials on the building. The addition is permitted and follows the guidance of the HCD Plan. Rehabilitation and partial restoration of the east half of the stables is consistent with heritage conservation best practices.

## 8 CLOSURE

We trust this Memorandum satisfies your concerns. If there are any questions or concerns, please do not hesitate to contact the undersigned.

Sincerely,

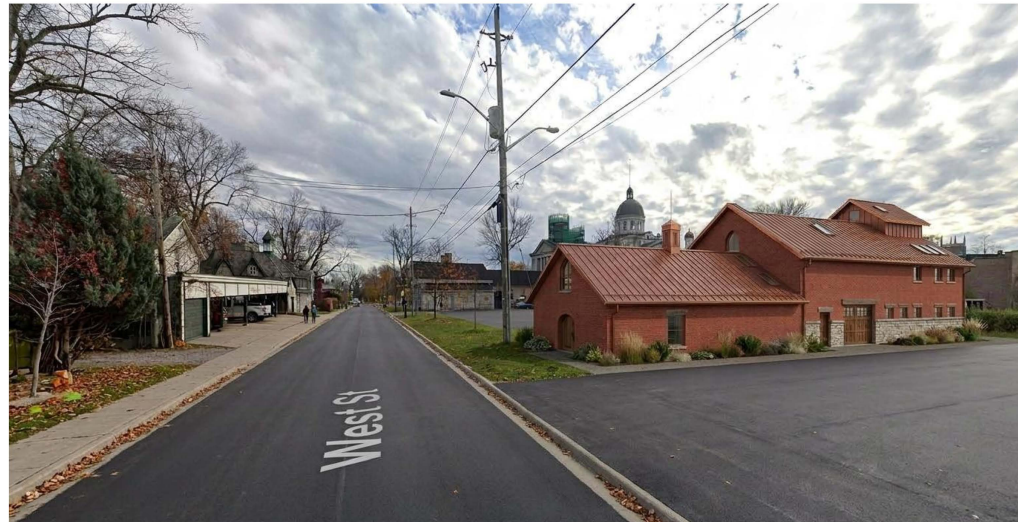


Benjamin Holthof, MPI MMA RPP MCIP CAHP  
Manager of Heritage Consulting Services



Lisa Coles, MPI RPP MCIP CAHP  
Intermediate Heritage Planner

## 9 FIGURES



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No.	DATE	DESCRIPTION	BY

REVISIONS

No.	DATE	DESCRIPTION	BY

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CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE  
FOR ALL DIMENSIONS AND SHALL REPORT ANY DIS-  
CREPANCY TO THE ENGINEER BEFORE PROCEEDING  
WITH ANY WORK.

THESE PLANS WERE DESIGNED IN ACCORDANCE  
WITH THE ONTARIO BUILDING CODE. THESE PLANS  
FORM THE BASIS FOR PERMIT ISSUANCE AND ANY  
DEVIATIONS FROM THESE PLANS AND DETAILS  
INCLUDING THE VENTILATION SYSTEM, HEATING  
SYSTEM, WOODSIDE, FIREPLACE, DECKS,  
BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE  
A REVISED DRAWING AND CLEARANCE BY THE  
BUILDING DEPARTMENT.

PROJECT:  
PROPOSED RESIDENCE

LOCATION:  
166 WEST ST., KINGSTON, ON

FOR:  
ROB & LESLIE BAKER

DRAWING:  
RENDERING FROM WEST ST

REVIEWED BY:	SCALE:	DRAWING No.
DEPT. NAME	NTS	A1
ARCH. CD		
BTR. ET	DATE:	23245
MEX. ET	March 31, 2025	
BLE. CD	SHEET: 1 of 18	23245
JOB #:	23245	

Figure 1. Rendering from West Street

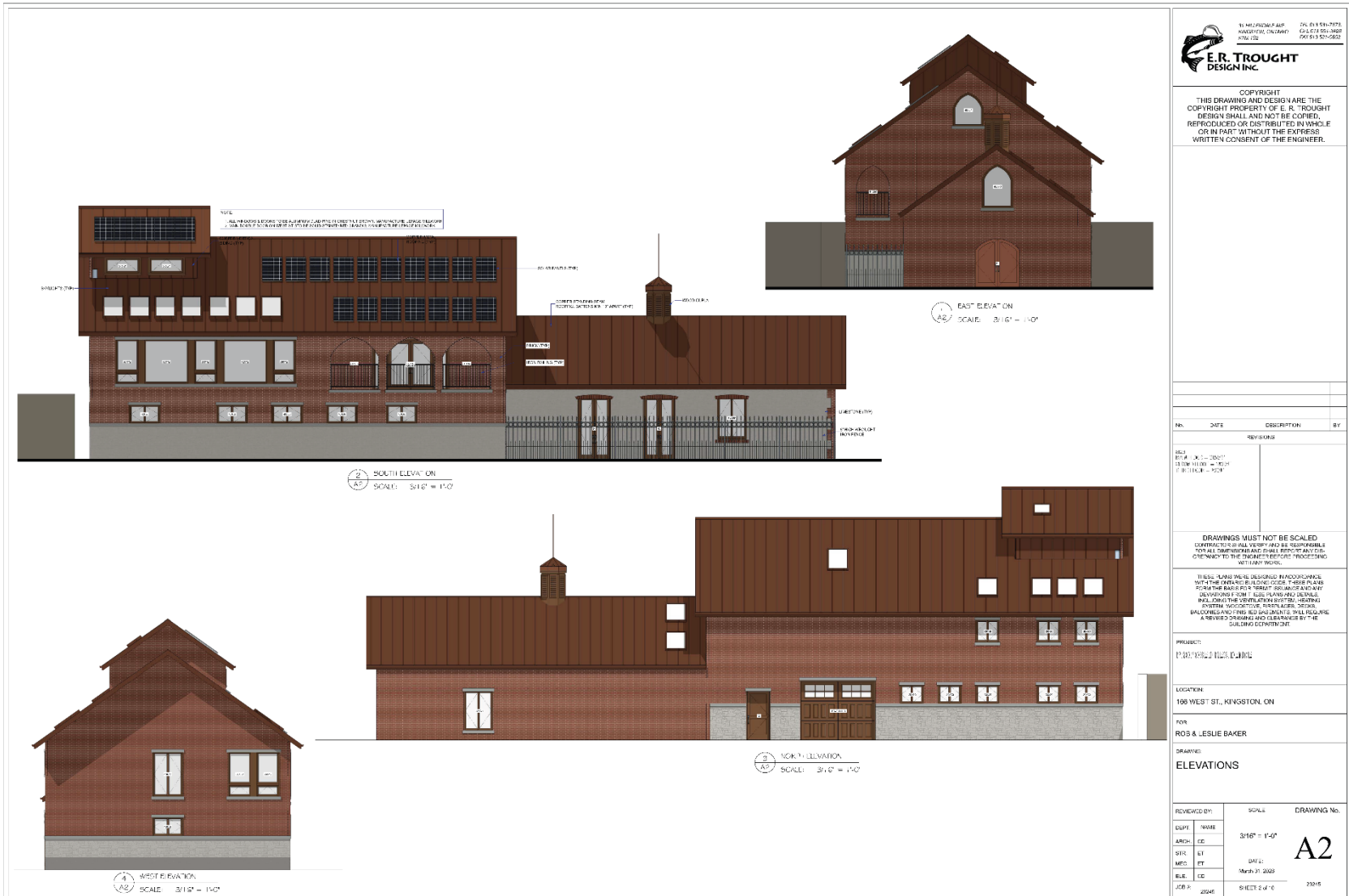


Figure 2. Elevations



Figure 3. Example of new brick compared against the current brick



Figure 4. Example of the proposed in-swing French casement windows<sup>3</sup>

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<sup>3</sup> LePage Millwork, "In-Swing French Casement Window," accessed 19 March 2026, <https://www.lepagemillwork.com/en-ca/windows-and-doors/wood-collection/windows/inswing-french-casement-window/>.



Figure 5. Example of wood balcony door<sup>4</sup>

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<sup>4</sup> LePage Millwork, "Wooden Balcony Door," accessed 19 March 2026, <https://www.lepagemillwork.com/en-ca/windows-and-doors/wood-collection/wood-collection-doors/balcony-door/>.

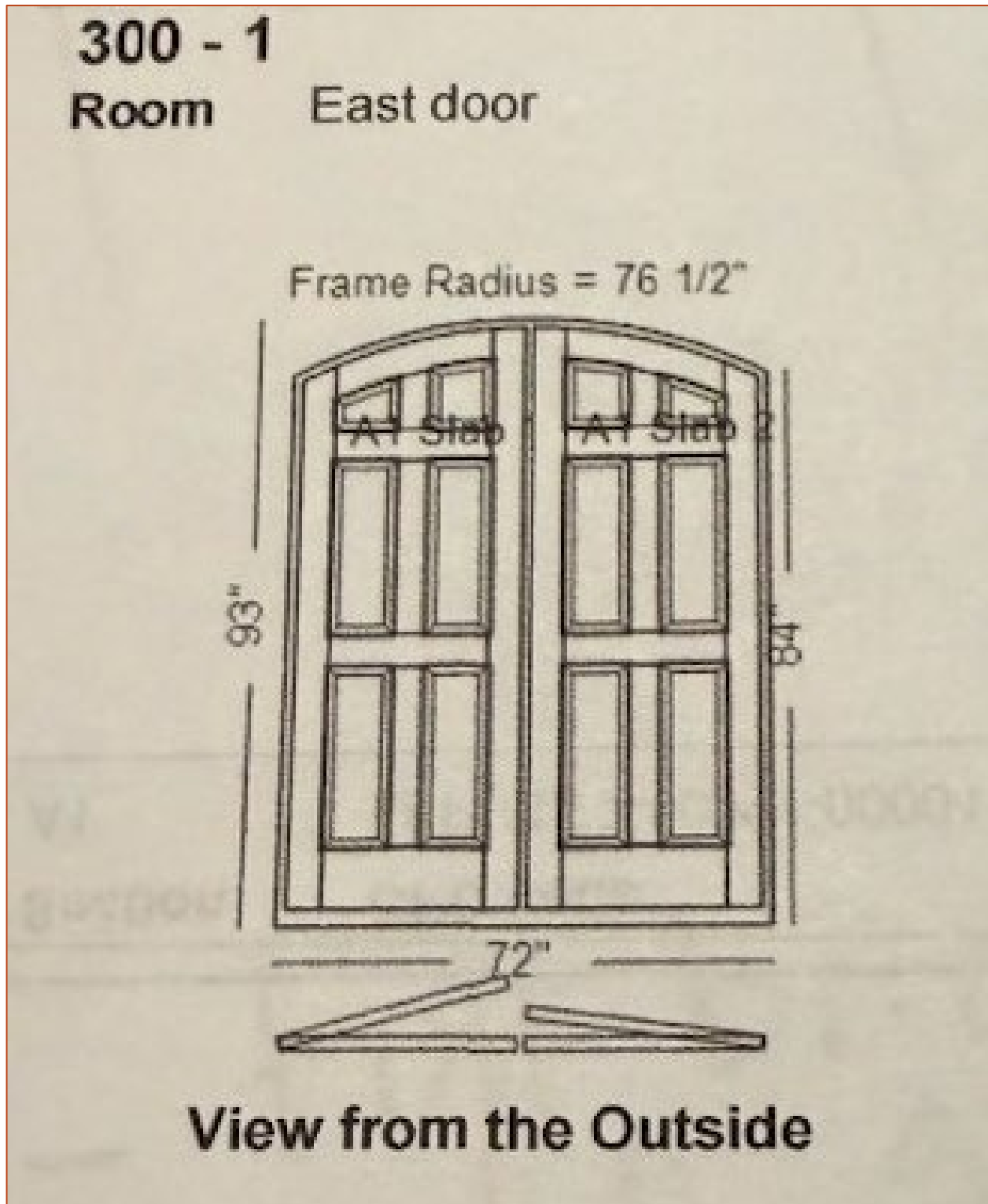


Figure 6. Door Example for Facade



Figure 7. Railing Inspiration Example

# Kingston Heritage Properties Committee

## Summary of Input from Technical Review Process

**P18-013-2026**

Committee Members	Comments Enclosed	No Comments Provided	No Response Received
Councillor Glenn			X
Councillor Oosterhof			X
Jennifer Demitor			X
Gunnar Heissler			X
Alexander Legnini			X
Bob Mayo		X	
Peter Gower	X		
Ann Stevens	X		
Donald Taylor	X		



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Date:	April 8, 2026
Form:	Heritage Properties Committee Reviewer Form
Reviewer Name:	Ann Stevens
Application Type:	Heritage Permit
File Number:	P18-013-2026
Property Address:	166 WEST ST

---

#### Description of Proposal:

The subject property is located just north of the Frontenac County Courthouse, on the west side of West Street, south of Earl Street. The property contains a single storey stone and brick carriage house with a later single storey rear addition. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. An application has been submitted to seek Heritage Act approval to restore the front (older) section of the building and remove and replace the rear (later) section of the building, to convert the existing structure into a single unit dwelling. Restoration efforts include substantial masonry works to repair all the walls and foundations and to close in areas that are currently large garage door openings. A new roof structure with standing seam profile metal roofing and the recreation of the cupola is proposed. New windows and doors are proposed throughout. The rear addition is to be two full stories with a small third storey bedroom near the rear. The new addition will include a gable roof, with several skylights and solar panels. The addition will include a stone foundation and brick walls, with matching steel roofing. Black iron style fencing is proposed around a small patio on the south side of the building. Detailed plans and a Heritage Impact Statement with recent addendum were submitted with the application.

#### Comments for Consideration on the Application:

The project to restore an old, ramshackle piece of Kingston's built heritage has been well thought out with great respect for environmental and heritage considerations. I think this will be a welcome project to this area of Sydenham District.

My only modest comment is about the arches on the new construction. I think those arches don't fit with the rest of the more restrained features. The arches look quite Mediterranean and could look better if they were simplified.

But overall, I congratulate the owners of this property for their wonderful efforts to make an old building bloom.



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---

Date:	April 9, 2026
Form:	Heritage Properties Committee Reviewer Form
Reviewer Name:	Don Taylor
Application Type:	Heritage Permit
File Number:	P18-013-2026
Property Address:	166 WEST ST

---

#### Description of Proposal:

The subject property is located just north of the Frontenac County Courthouse, on the west side of West Street, south of Earl Street. The property contains a single storey stone and brick carriage house with a later single storey rear addition. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. An application has been submitted to seek Heritage Act approval to restore the front (older) section of the building and remove and replace the rear (later) section of the building, to convert the existing structure into a single unit dwelling. Restoration efforts include substantial masonry works to repair all the walls and foundations and to close in areas that are currently large garage door openings. A new roof structure with standing seam profile metal roofing and the recreation of the cupola is proposed. New windows and doors are proposed throughout. The rear addition is to be two full stories with a small third storey bedroom near the rear. The new addition will include a gable roof, with several skylights and solar panels. The addition will include a stone foundation and brick walls, with matching steel roofing. Black iron style fencing is proposed around a small patio on the south side of the building. Detailed plans and a Heritage Impact Statement with recent addendum were submitted with the application.

#### Comments for Consideration on the Application:

The proposed renovations to this carriage house and stable will have a wonderful impact on the property and this important heritage neighbourhood. The discussion of this complex application at the Round Table was very positive, while a number of questions and suggestions were raised. Here are my comments:

1. An important concern is the treatment of the 3 openings on the south side of the carriage house as they are very visible from the street. Originally there was a door opening and a window on this elevation, but a second doorway was added later with very poor workmanship. The application proposes to rebuild them and insert replacement doors and window. It seems a strange design to have two doors separated by six feet entering the new "great room". On the other hand, it would be desirable to have ample light into this room, so it would seem more reasonable to rebuild the second doorway as a window matching the one beside it. It should also be noted that the existing window on this elevation is a 2/2 vertical slider and is very likely original. Rather than replacing this window with a casement window as proposed, it would be much better from a heritage standpoint to stay with the original 2/2 style. Likewise, the replacement door should match the period of the carriage house which would probably have 4 panel doors. (See next comment on doors and windows).
2. The plans appear to show a number of new doors with 6 panels. Such doors are usually associated with "fine" houses and would seem out of character in a carriage house. From a heritage viewpoint it is preferred to maintain consistency of styles of new elements with the original building, and in this case 4 panel doors would seem more appropriate. Likewise, the application specifies the replacement windows as casement style. Such windows would be acceptable in the addition, but the carriage house should aim to be true to the original, and hence 2/2 vertical slider windows would be preferred there, although the small upper window on the east façade could be casement style. Similarly, the proposed exterior patio-style doors would be acceptable for the addition, but not for the highly visible door(s) on the carriage house south elevation.
3. There is some inconsistency about the planned roofing material, with mentions of both steel and copper. Copper roofs are more appropriate for grand municipal buildings than for a carriage house, so steel panels in a dark grey or black colour would be recommended.
4. The style of the arches on the addition is not clear. They are described as gothic but appear to be closer to Tudor. Simpler alternatives, flat or circular, could be considered.
5. There is a surprising reference to a "widow's walk" on the addition rooftop, although there is no sign of access or safety railings. The upper floors already provide good visibility toward the lake.



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---

Date:	April 15, 2026
Form:	Heritage Properties Committee Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	Heritage Permit
File Number:	P18-013-2026
Property Address:	166 WEST ST

---

Description of Proposal:

The subject property is located just north of the Frontenac County Courthouse, on the west side of West Street, south of Earl Street. The property contains a single storey stone and brick carriage house with a later single storey rear addition. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. An application has been submitted to seek Heritage Act approval to restore the front (older) section of the building and remove and replace the rear (later) section of the building, to convert the existing structure into a single unit dwelling. Restoration efforts include substantial masonry works to repair all the walls and foundations and to close in areas that are currently large garage door openings. A new roof structure with standing seam profile metal roofing and the recreation of the cupola is proposed. New windows and doors are proposed throughout. The rear addition is to be two full stories with a small third storey bedroom near the rear. The new addition will include a gable roof, with several skylights and solar panels. The addition will include a stone foundation and brick walls, with matching steel roofing. Black iron style fencing is proposed around a small patio on the south side of the building. Detailed plans and a Heritage Impact Statement with recent addendum were submitted with the application.

Comments for Consideration on the Application:

This is a complicated application with, I suspect, a number of unforeseen problems which will become apparent should the proposal proceed. At present I approve of the application and assume that staff (and even the committee) will be involved when those difficulties appear so that there is as much input to the development as possible.

Recommended Conditions for the Application:

Staff to be kept informed of progress and immediately informed as problems arise.

### **Summary of Final Comments at the May 20, 2026 Heritage Properties Committee Meeting**

Ms. Stevens noted her support for the project. She stated that using softer arches would make the facade more elegant.

Mr. Taylor stated that how the brickwork repair would be conducted was critical to the outcome of the project. He noted that the brick-clad rear addition of the building which was to be dismantled would be an excellent source of period bricks to use on the front facade. He urged the applicants not to use rusticated bricks on the front facade of the building.

Councillor Glenn asked for staff to explain the condition of approval regarding the northern and southern windows on the retained building. She further asked for an explanation on the procedure if the Committee voted against the application.

Mr. Taylor stated that the Heritage Properties Committee's members suggestions were not meant to increase the costs of a project to an applicant and that a contractors first instant was always to replace an item. He noted that the two-over-two window design requested by staff as a condition of approval was appropriate for the building. He commented that rebuilding a brick facade and having it look appropriate is a large project and urged the applicant to ensure that the mortar that is chosen does not detract from the repaired brickwork. He emphasized that a white mortar would significantly detract from the repaired brickwork.